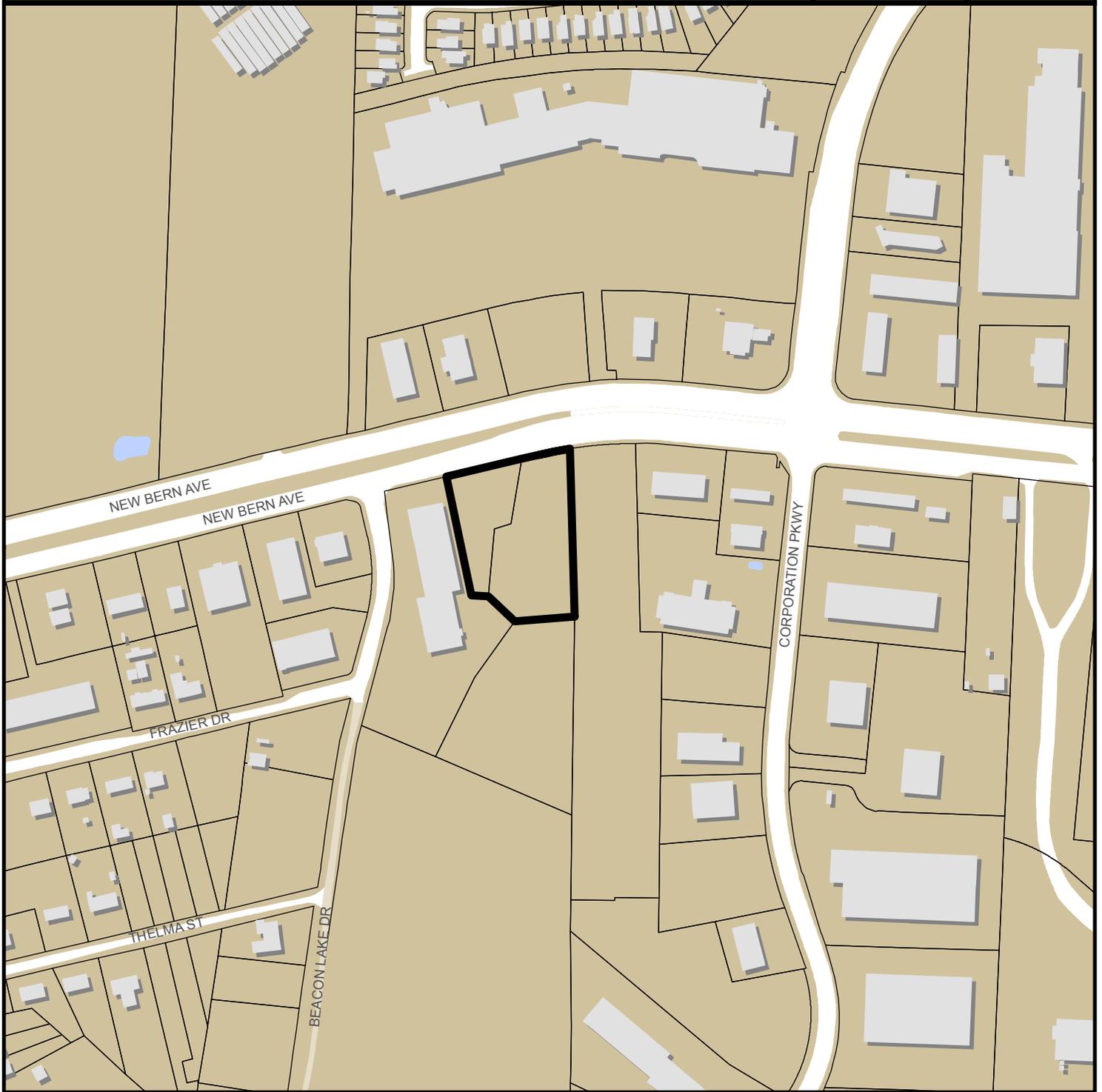


# NATIONAL PAWN SR-32-2016



0 300 600 Feet

Zoning: **IX-3-PL**  
CAC: **Southeast**  
Drainage Basin: **Crabtree Basin**  
Acreage: **2.03**  
Lots sq. ft.: **33,334**

Planner: **Justin Rametta**  
Phone: **(919) 996-2665**  
Applicant: **TTM Properties**  
Phone: **888-315-4347**



# Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

SR-32-16

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <span style="font-size: 1.2em;">472382</span> Assigned Project Coordinator <span style="font-size: 1.2em;">Shankle</span> Assigned Team Leader <span style="font-size: 1.2em;">Rametta</span>
Has your project previously been through the Due Diligence process? If yes, provide the transaction #		
<b>GENERAL INFORMATION</b>		
Development Name <b>National Pawn</b>		
Zoning District <b>IX-3-PL</b>		
Proposed Use <b>Retail</b>		
Property Address(es) <b>3906 / 3920 New Bern Ave</b>		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. Recorded Deed <b>DB4832 PG521</b>	P.I.N. Recorded Deed	P.I.N. Recorded Deed
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Single Family <input type="checkbox"/> Cottage Court <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Other: If other, please describe: _____		
<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Office <input type="checkbox"/> Banks		
<b>WORK SCOPE</b>	Per City Code Section 10.2.8.D.1, summarize the project work scope. <b>New retail building and associated parking are</b>	
<b>DESIGN ADJUSTMENT OR ADMIN ALTERNATE</b>	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE <b>n/a</b>	
<b>CLIENT/DEVELOPER/ OWNER</b>	Company <b>TTM Properties</b>	Name (s) <b>Bob Moulton</b>
	Address <b>2334 Guess Rd, Durham, NC 27705</b>	
	Phone <b>888-315-4347</b>	Fax
<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>Commercial Site Design, PLLC</b>	Name (s) <b>Garrett otten</b>
	Address <b>8312 Creedmoor Rd, Raleigh, NC 27613</b>	

Phone 919-848-6121	Email <a href="mailto:otten@csitedesign.com">otten@csitedesign.com</a>	Fax
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**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) IX-3-PL	Proposed building use(s) retail
If more than one district, provide the acreage of each: n/a	Existing Building(s) sq. ft. gross 10,000
Overlay District n/a	Proposed Building(s) sq. ft. gross 10,000
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 2.03	Total sq. ft. gross (existing & proposed) 10,000
Off street parking: Required 33 Provided 52	Proposed height of building(s) 24' Stories
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) 11 %
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage (site plans only) 11%
CUD (Conditional Use District) case # Z-	Height of 1 <sup>st</sup> Floor 24'

Stormwater Information	
Existing Impervious Surface 12,696 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 33,334 acres/square feet	If Yes, please provide: Alluvial Soils Flood Study FEMA Map Panel #
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

**FOR RESIDENTIAL DEVELOPMENTS**

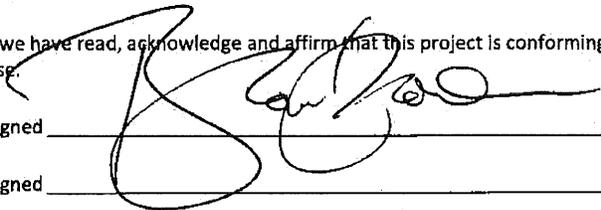
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

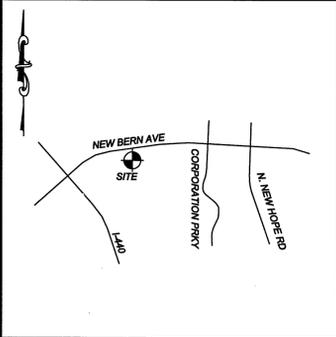
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Garrett Otten - Commercial Site Design to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

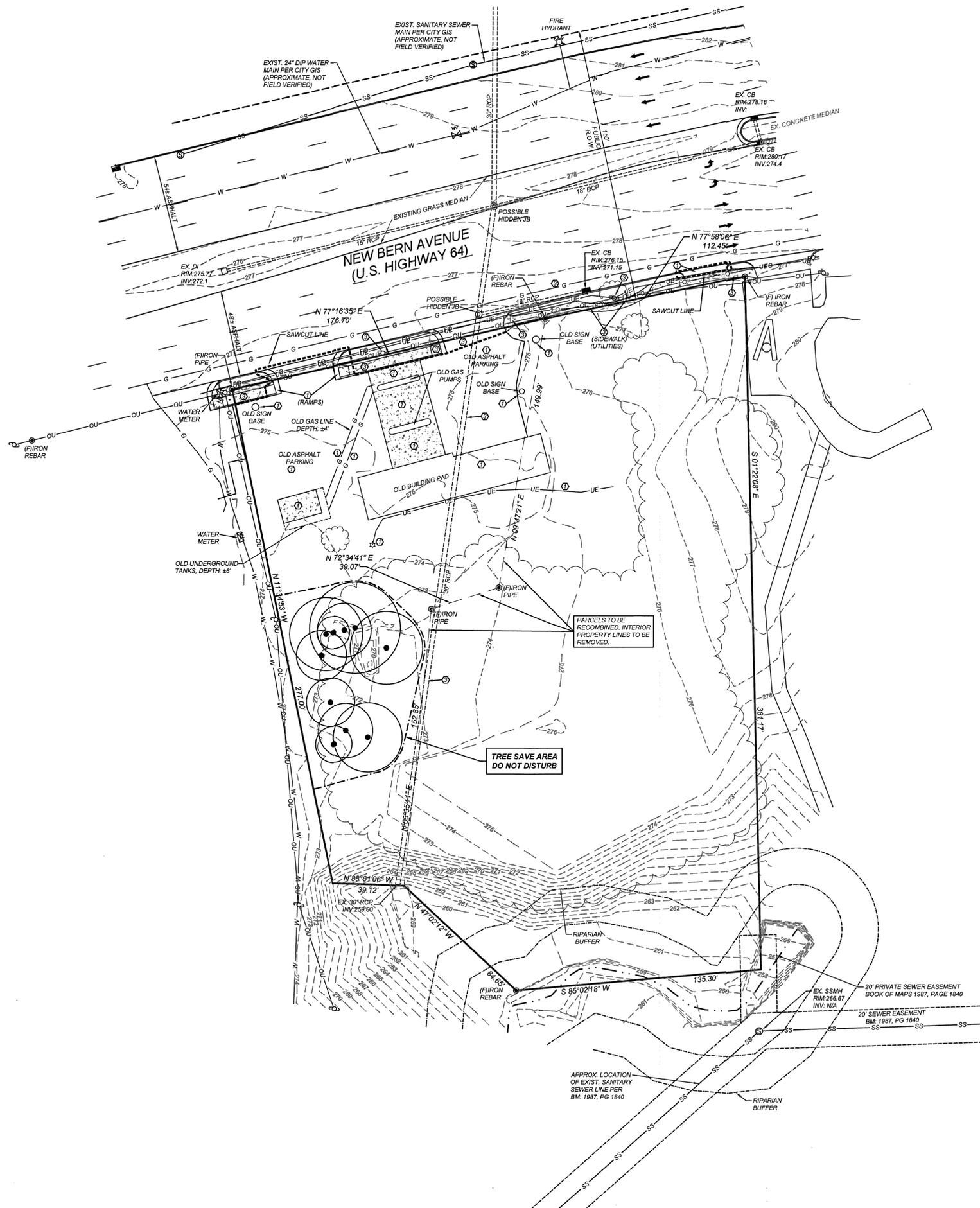
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  Date 5/19/2016  
 Signed \_\_\_\_\_ Date \_\_\_\_\_

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF					
	General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>					
2. <u>Site Review</u> completed and signed by the property owner	<input checked="" type="checkbox"/>					
3. Client must complete and print page 1 and 2 of the <u>Site Review</u> to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
4. I have referenced the <u>Site Review</u> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>					
5. Provide the following plan sheets:	<input type="checkbox"/>					
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>					
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
c) Proposed Site Plan	<input checked="" type="checkbox"/>					
d) Proposed Grading and Stormwater Plan; Approach to Stormwater	<input checked="" type="checkbox"/>					
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
g) Proposed Landscaping Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
h) Building elevations that show maximum height of buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>					
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>					
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>					
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>					
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>					
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>				



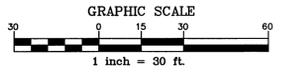
VICINITY MAP  
NTS



- GENERAL NOTES:**
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: GRIFFIN SURVEYING SERVICES, PA  
FIRM # : C-1671  
1310 BRIEF ROAD EAST  
MONROE, NC 28110  
PHONE: (704) 753-5008
  - THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DEMOLITION KEYNOTES:**
- REMOVE EXISTING ITEM. COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
  - RELOCATE EXISTING ITEM. COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
  - ITEM TO REMAIN.
- SAWCUT LINE

- LEGEND**
- EXISTING IRON PIPE
  - IRON PIPE SET
  - BORE HOLE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER VALVE
  - WATER METER
  - FIRE HYDRANT
  - TELEPHONE PEDESTAL
  - TELEPHONE MANHOLE
  - ELECTRIC BOX
  - LIGHT POLE
  - POWER POLE
  - CURB INLET
  - STORM DRAINAGE MANHOLE
  - YARD INLET
  - STORM DRAIN
  - OVERHEAD UTILITIES
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - WATER LINE
  - SANITARY SEWER LINE
  - GAS LINE
  - x-x- FENCE LINE

**811**  
Know what's below.  
Call before you dig.  
811 or 800-632-4949



NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

8112 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27603

(919) 848-4121 FAX: (919) 848-2741  
WWW.CSITDESIGN.COM

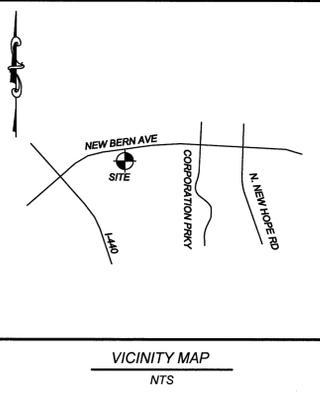
**CLIENT/OWNER:**  
NATIONAL PAWN AND JEWELRY  
2334 GUESS RD.  
DURHAM, NC 27705

**NATIONAL PAWN & JEWELRY**  
3920 NEW BERN AVENUE  
RALEIGH, NORTH CAROLINA

**EXISTING CONDITIONS/DEMOLITION PLAN**

PROJECT NO: NPJ-1501  
FILENAME: NPJ1501-DP  
DRAWN BY: JWR  
SCALE: 1" = 30'  
DATE: 01-22-16  
SHEET NO: **C-1**

X:\WP1 - National Pawn & Jewelry\1501 - Raleigh, NC @ New Bern Ave\CAD\WP1501-DP.dwg, 5/13/2016 9:41:21 AM, JWR

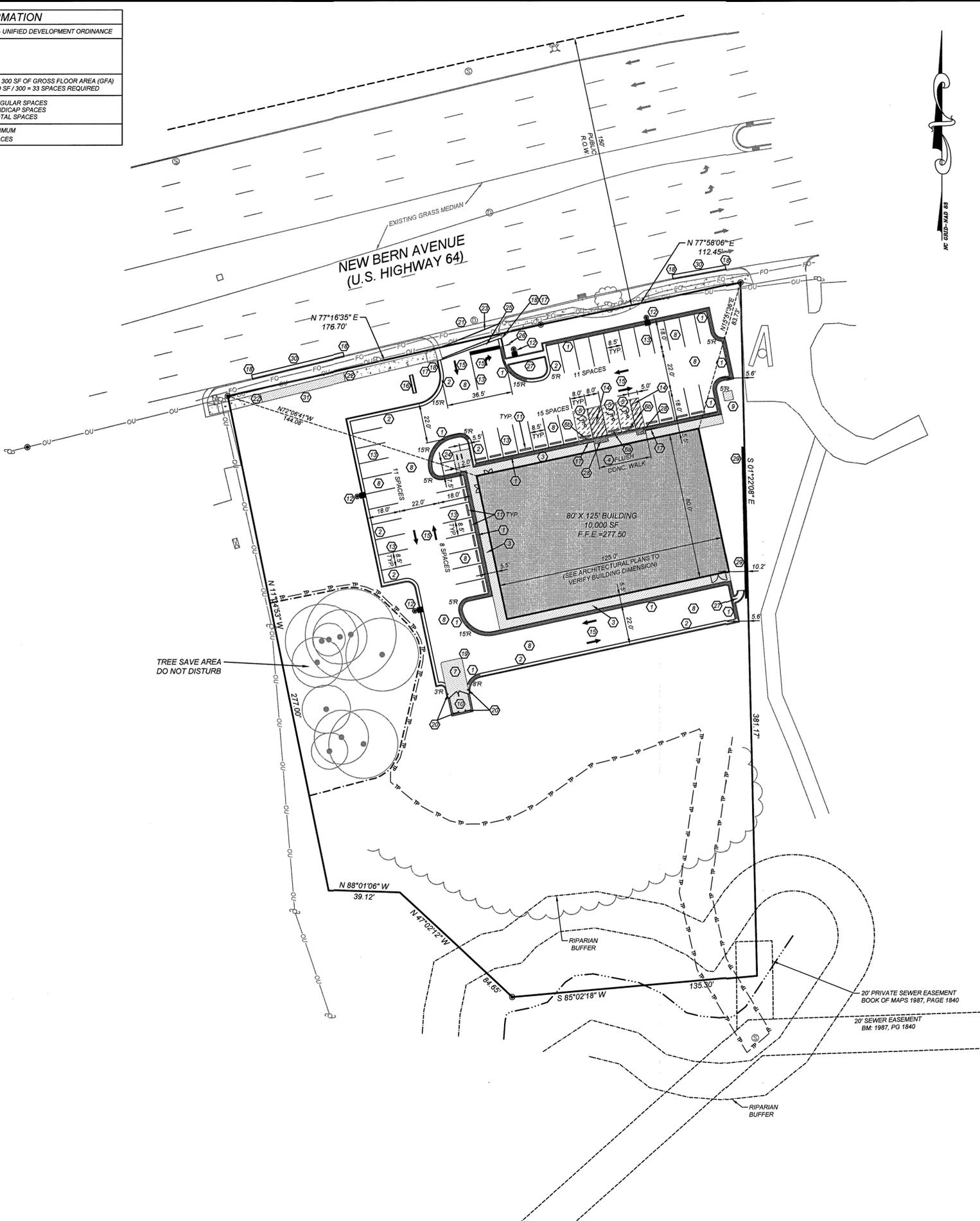
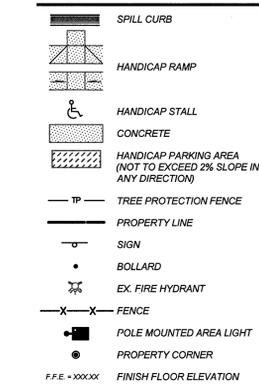


SITE INFORMATION	
ZONING:	UDO - UNIFIED DEVELOPMENT ORDINANCE
BUILDING SETBACKS:	
FRONT	
SIDE	
REAR	
PARKING REQUIREMENTS:	1 PER 300 SF OF GROSS FLOOR AREA (GFA) 10,000 SF / 300 = 33 SPACES REQUIRED
PARKING PROVIDED:	49 REGULAR SPACES 3 HANDICAP SPACES 52 TOTAL SPACES
BICYCLE PARKING REQUIRED:	4 MINIMUM
BICYCLE PARKING PROVIDED:	4 SPACES

**SITE KEYNOTES:**

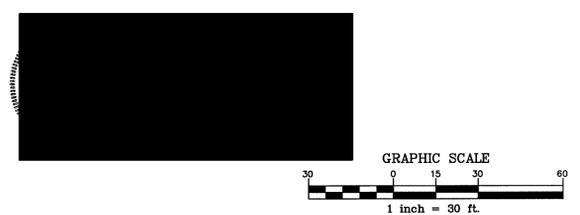
- 1 CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- 4 CONSTRUCT CONCRETE SIDEWALK FLUSH WITH ASPHALT HANDICAP PARKING. SLOPE 1.5% AWAY FROM BUILDING.
- 5 HANDICAP PARKING STALL
- 6 VAN ACCESSIBLE HANDICAP PARKING SIGN PER DETAIL SHEET
- 7 STANDARD HANDICAP PARKING SIGN PER DETAIL SHEET
- 8 CONCRETE PAVEMENT PER DETAIL SHEET
- 9 ASPHALT PAVEMENT PER DETAIL SHEET
- 10 TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- 11 CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- 12 CONCRETE WHEEL STOP PER DETAIL SHEET
- 13 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 14 PAINT 4" WIDE STRIPE, WHITE
- 15 PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- 16 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 17 SITE IDENTIFICATION SIGN
- 18 NOSE DOWN CURB, SEE DETAIL
- 19 MATCH EXISTING CURB & GUTTER
- 20 ASPHALT/CONCRETE TRANSITION PER DETAIL
- 21 INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- 22 MATCH EXISTING ASPHALT PAVEMENT
- 23 MATCH EXISTING CONCRETE SIDEWALK
- 24 CROSSWALK PER CITY AND NCDOT STANDARDS AND SPECIFICATIONS
- 25 4 BICYCLE PARKING SPACES. 2 INVERTED 'U' BICYCLE RACKS AND CONCRETE PAD. SEE DETAIL.
- 26 24" SOLID WHITE STOP BAR.
- 27 "STOP" SIGN AND "NO LEFT TURN" SIGN PER CITY, NCDOT AND MUTCD STANDARDS AND SPECIFICATIONS.
- 28 CONCRETE FLUME TYPE 'A'. SEE DETAILS SHEET.
- 29 ADA TACTILE DETECTABLE WARNING SURFACE.
- 30 SEGMENTAL RETAINING WALL TO BE DESIGNED BY OTHERS.
- 31 30" CONCRETE CURB AND GUTTER PER CITY AND NCDOT STANDARDS. CONTRACTOR TO COORDINATE WITH CITY AND NCDOT.
- 32 INSTALL 5' WIDE CONCRETE SIDEWALK PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH CITY AND NCDOT INSPECTORS.

**SITE LEGEND**



**GENERAL NOTES:**

- 1 THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY GRIFFIN SURVEYING SERVICES, PA FIRM # C-1671 1310 BRIEF ROAD EAST MONROE, NC 28110 PHONE: (704) 753-5008
- 2 THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3 ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- 4 ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- 5 PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- 6 THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- 7 CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 8 ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- 9 CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- 10 ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- 11 DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 12 THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- 13 THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- 14 GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE UNLESS NOTED DIFFERENT ON PLAN.
- 15 FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
- 16 CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- 17 ALL RADI DIMENSIONS ARE TO FACE OF CURB.
- 18 ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- 19 ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 20 ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
- 21 THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- 22 ALL LOT STRIPINGS AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
- 23 COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
- 24 THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 25 BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- 26 ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- 27 THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- 28 ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 29 CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
- 30 ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
- 31 ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
- 32 ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- 33 IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
- 34 CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.



NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

897 CREDMOR ROAD  
RALEIGH, NORTH CAROLINA 27613

(919) 848-4121, FAX: (919) 848-3741  
WWW.CSDESIGN.COM

**CLIENT OWNER:**

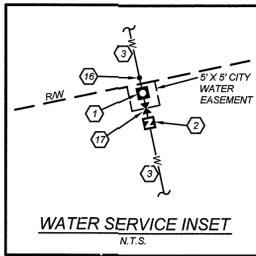
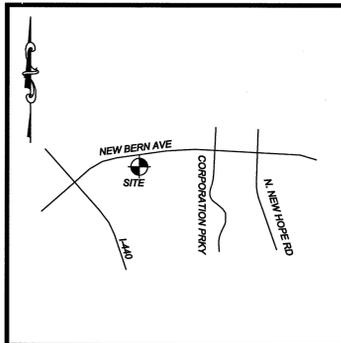
NATIONAL PAWN AND JEWELRY  
2334 GUESS RD.  
DURHAM, NC 27705

**NATIONAL PAWN & JEWELRY**

3920 NEW BERN AVENUE  
RALEIGH, NORTH CAROLINA

**SITE PLAN**

PROJECT NO.	NPJ-1501
FILENAME:	NPJ1501-SP
DRAWN BY:	JWR
SCALE:	1" = 30'
DATE:	01-22-16
SHEET NO.	C-2



VICINITY MAP  
NTS

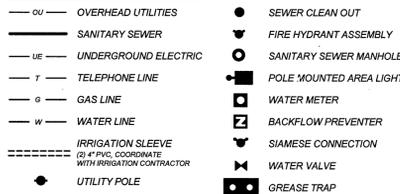
**UTILITY KEYNOTES:**

1. 1" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
2. 1" DOMESTIC REDUCE PRESSURE BACKFLOW PREVENTER CONTRACTOR SHALL COORDINATE WITH CITY.
3. 1" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
4. 6" DIP SANITARY SEWER LINE @ 1/8" PER LF SLOPE MINIMUM AND 10% MAXIMUM, CONTRACTOR SHALL COORDINATE WITH CITY.
5. 24" TAPPING SLEEVE WITH 1" COPORATION STOP PER CITY OF RALEIGH SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO ANY CONSTRUCTION AND COORDINATE WITH CITY.
6. SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
7. TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
8. EXISTING FIRE HYDRANT.
9. TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
10. POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
11. UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
12. UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
13. GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
14. 6" DUCTILE IRON PIPE SANITARY SEWER SERVICE UNDER EXISTING STREAM @ 1/8" PER LF SLOPE MINIMUM. CONTRACTOR SHALL COORDINATE WITH CITY. 24" MINIMUM COVER AT STREAM.
15. CONNECT PROPOSED 6" DIP SANITARY SEWER SERVICE TO EXISTING SSMH PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. PROFESSIONALLY CORE DRILL AND INSTALL FLEXIBLE RUBBER BOOT CONNECTION ON EXISTING MANHOLE. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SANITARY SEWER PRIOR TO ANY CONSTRUCTION TO ENSURE REQUIRED SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED FOR PROPOSED SANITARY SEWER SERVICE AND COORDINATE WITH CITY.
16. INSTALL CURB STOP PER CITY STANDARD DETAIL.
17. INSTALL 1" SERVICE VALVE PER CITY STANDARD DETAIL.
18. CONTRACTOR TO REPAIR / REPLACE DAMAGED SIDEWALK AND CURB AND GUTTER FOLLOWING CONSTRUCTION PER CITY AND NCDOT STANDARDS.
19. CONTRACTOR TO CUT AND PATCH ASPHALT AT RECEIVING PIT AFTER CONSTRUCTION PER CITY AND NCDOT STANDARDS. COORDINATE WITH CITY AND NCDOT INSPECTORS.
20. CONTRACTOR TO AVOID DISTURBING EXISTING UTILITIES.

**CITY OF RALEIGH STANDARD UTILITY NOTES (as applicable):**

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
  - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
  - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
  - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications
  - d) 5' C' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
  - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
  - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
5. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
7. Install water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water services for each connection to provide adequate flow & pressure
8. Install sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
11. NCDOT Railroad Easement Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
12. Grass Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of Building Permit. Contact: Tim Beasley BA (919) 995-2334 or for more information
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact: Joanie Hartley at (919) 995-5923 or for more information

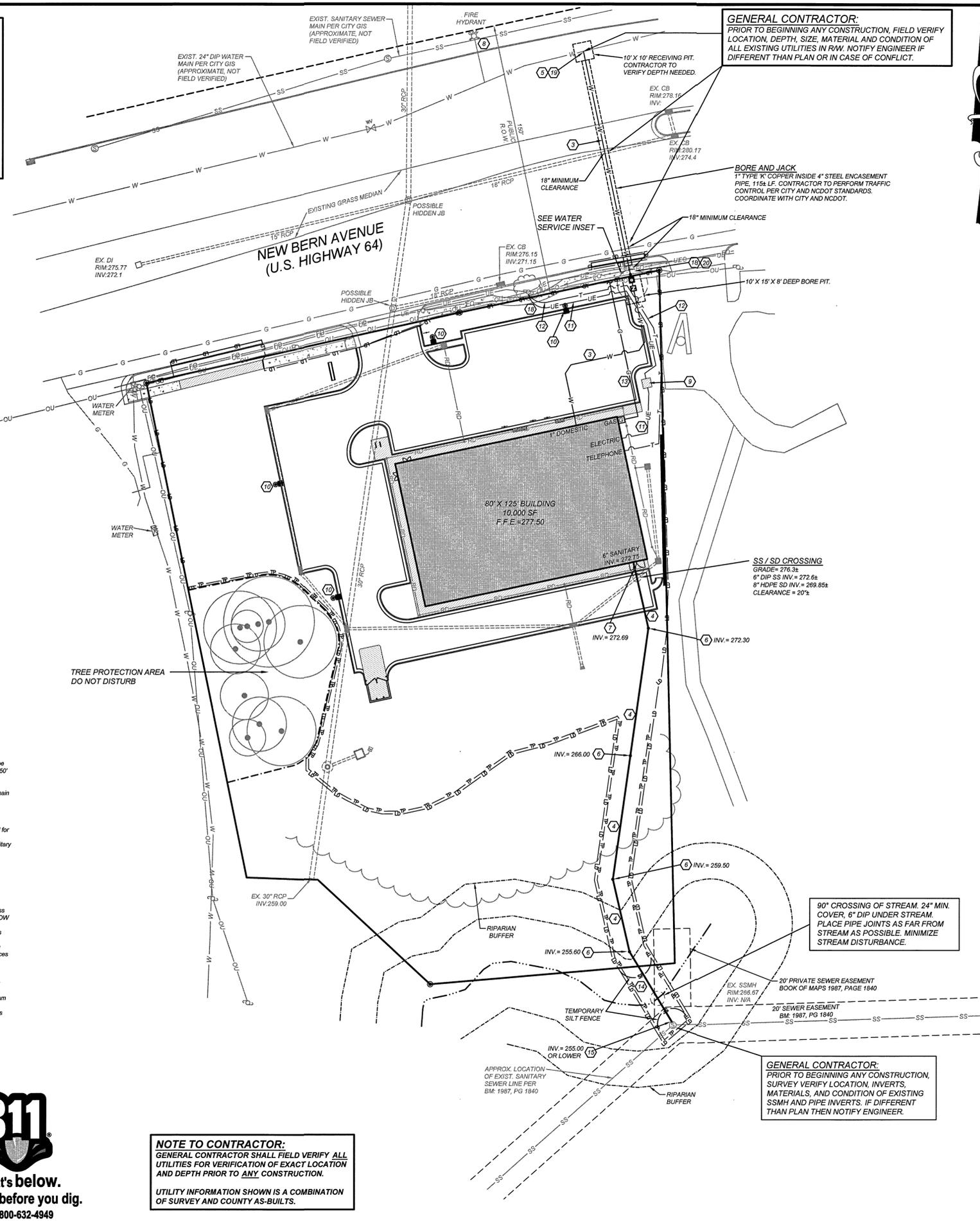
**UTILITY LEGEND**



Know what's below.  
Call before you dig.  
811 or 800-632-4949

**NOTE TO CONTRACTOR:**  
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.



**GENERAL CONTRACTOR:**  
PRIOR TO BEGINNING ANY CONSTRUCTION, FIELD VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND CONDITION OF ALL EXISTING UTILITIES IN ROW. NOTIFY ENGINEER IF DIFFERENT THAN PLAN OR IN CASE OF CONFLICT.

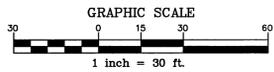
**BORING AND JACK**  
1" TYPE 'K' COPPER INSIDE 4" STEEL ENCASUREMENT PIPE. 115' Lf. CONTRACTOR TO PERFORM TRAFFIC CONTROL PER CITY AND NCDOT STANDARDS. COORDINATE WITH CITY AND NCDOT.

**90° CROSSING OF STREAM, 24" MIN. COVER, 6" DIP UNDER STREAM.**  
PLACE PIPE JOINTS AS FAR FROM STREAM AS POSSIBLE. MINIMIZE STREAM DISTURBANCE.

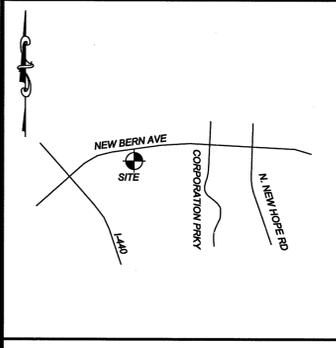
**GENERAL CONTRACTOR:**  
PRIOR TO BEGINNING ANY CONSTRUCTION, SURVEY VERIFY LOCATION, INVERTS, MATERIALS, AND CONDITION OF EXISTING SSMH AND PIPE INVERTS. IF DIFFERENT THAN PLAN THEN NOTIFY ENGINEER.

**UTILITY NOTES:**

1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. PDS, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4" FT FOR 4' LINES AND 2) 1/8" FT FOR 6' LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
14. SANITARY SEWER SERVICES SHALL BE D.I.P. AND WATER SERVICE SHALL BE TYPE 'K' COPPER.
15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART 'P' APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
22. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONSTRUCTION SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
24. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE WELDED JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 14" FT, 6" - 18" FT.
27. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE 'K' HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT. WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
30. CONTRACTOR SHALL NOTIFY NORTH CAROLINA 811 OR CALL 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCAL SERVICES INDEPENDENTLY.
31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT WATER AND SEWER REGULATIONS AND STANDARDS.
32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE CITY OF RALEIGH STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" X 2, 8" ABC OR BETTER.
35. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
36. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
37. TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.



REVISIONS		NO.	DATE	DESCRIPTION	BY
<b>COMMERCIAL SITE DESIGN</b> (919) 648-6021 FAX: (919) 648-3741 WWW.CSDESIGN.COM					
CLIENT OWNER: <b>NATIONAL PAWN AND JEWELRY</b> 2334 GUESS RD. DURHAM, NC 27705					
<b>UTILITY PLAN</b> <b>NATIONAL PAWN &amp; JEWELRY</b> 3920 NEW BERN AVENUE RALEIGH, NORTH CAROLINA					
PROJECT NO.	NPJ-1501				
FILENAME	NPJ1501-UP				
DRAWN BY	JWR				
SCALE	1" = 30'				
DATE	01-22-16				
SHEET NO.	C-6				



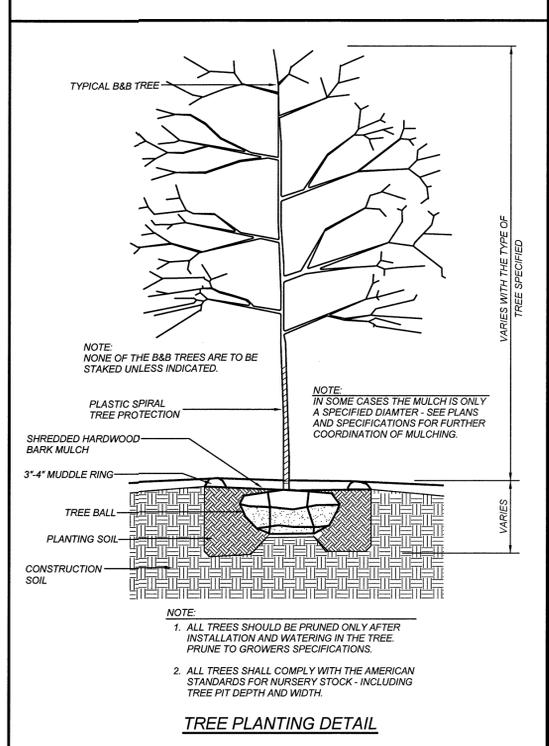
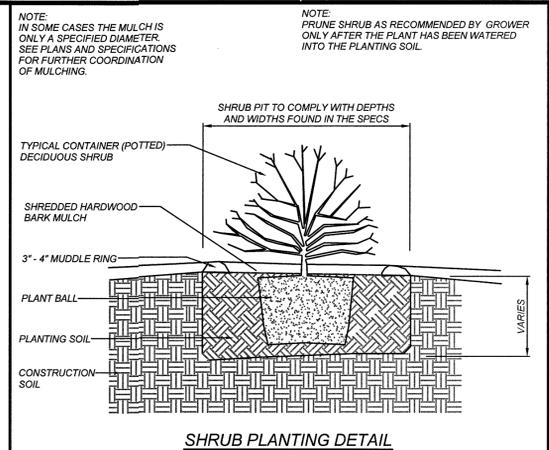
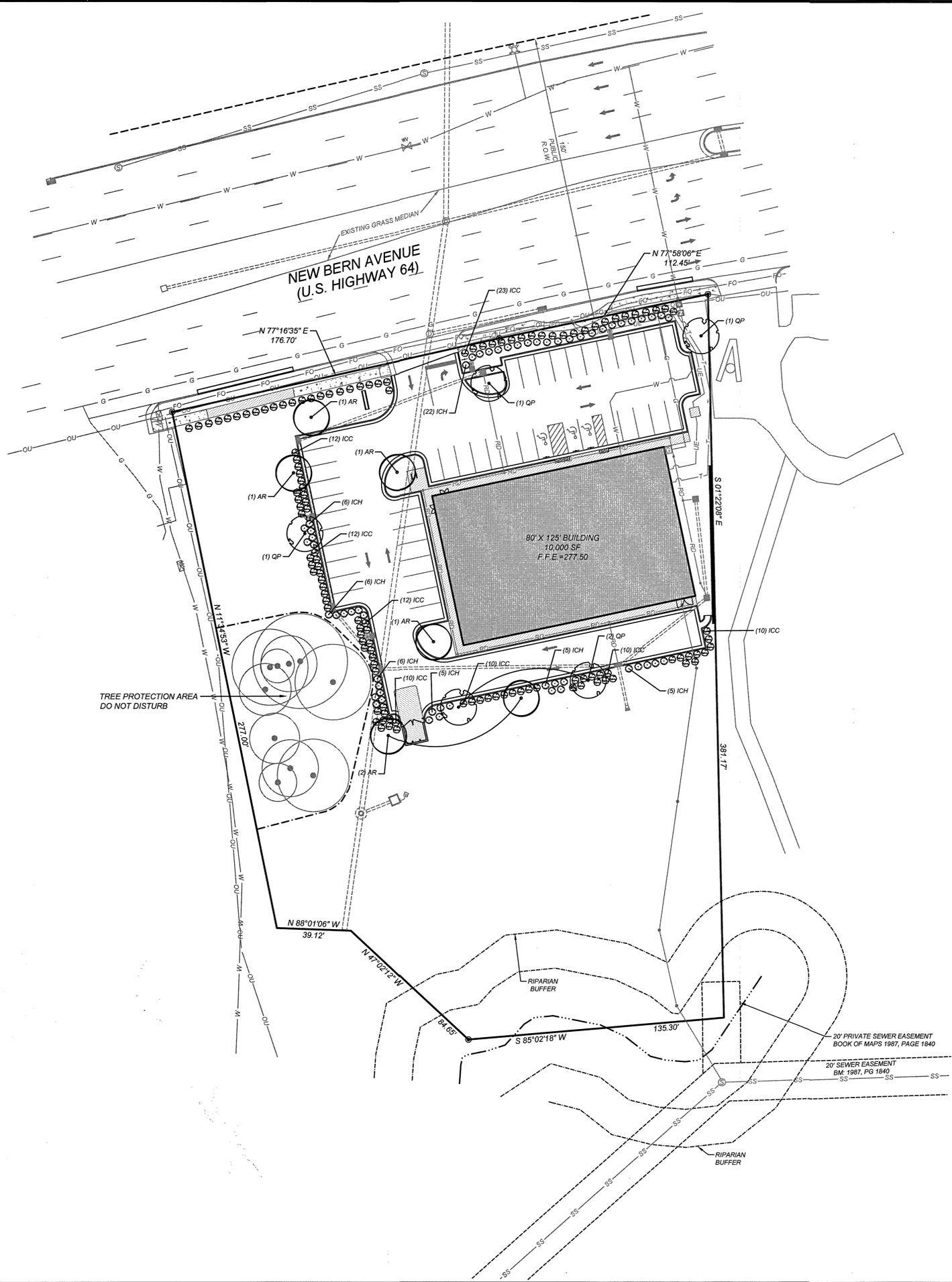
VICINITY MAP  
NTS

**TURF NOTES:**

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
  - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
  - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
  - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL. (SEE BELOW).
  - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
  - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
  - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
  - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- \*APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)  
FERTILIZER - 1,000 LBS/ACRE - 10-10-10  
SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS  
MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW  
ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:  
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
  - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
  - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
  - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

**LANDSCAPE NOTES:**

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL II" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.



**PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)**

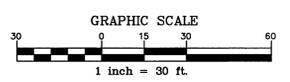
SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
AR	6	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3"	10' MIN	B & B	
QP	5	5	QUERCUS PHELLOS	WILLOW OAK	3"	10' MIN	B & B	
ICC	122	122	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	-	18" MIN	CONT.	STREET / PARKING LOT SHRUB
SS	47	47	ILEX CRENATA 'HELLERI'	HELLERI HOLLY	-	18" MIN	CONT.	STREET / PARKING LOT SHRUB

**LANDSCAPE CALCULATIONS**

**STREET PROTECTIVE YARD - NEW BERN AVE**  
REQUIRED (TYPE C3)  
30 SHRUBS PER 100 LF = 289 / 100 x 30 = 87 SHRUBS  
PROVIDED:  
90 HOLLY

**PARKING LOT:**  
TOTAL PERIMETER LENGTH ABUTTING PARKING AREAS / DRIVE AISLES = 349 LF  
PERIMETER PLANTINGS REQUIRED:  
30 SHRUBS PER 100 LF = 349 LF / 100 x 30 = 105 SHRUBS  
PROVIDED:  
76 CARISSA HOLLY  
33 HELLERI HOLLY

**VEHICULAR SURFACE AREA:** 18,894 SF  
REQUIRED TREES:  
1 TREE PER 2,000 SF = 18,894 / 2,000 = 10 TREES  
PROVIDED:  
6 RED MAPLES  
5 WILLOW OAKS  
11 PINES (EXISTING)



REVISIONS

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

897 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27603

(919) 848-4701 FAX: (919) 848-3741  
WWW.CSDESIGN.COM

CLIENT OWNER:  
**NATIONAL PAWN AND JEWELRY**  
2334 GUESS RD.  
DURHAM, NC 27705

**NATIONAL PAWN & JEWELRY**  
3920 NEW BERN AVENUE  
RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

PROJECT NO: NPJ-1501  
FILENAME: NPJ1501-LS  
DRAWN BY: JWR  
SCALE: 1" = 30'  
DATE: 01-22-16  
SHEET NO: C-11

