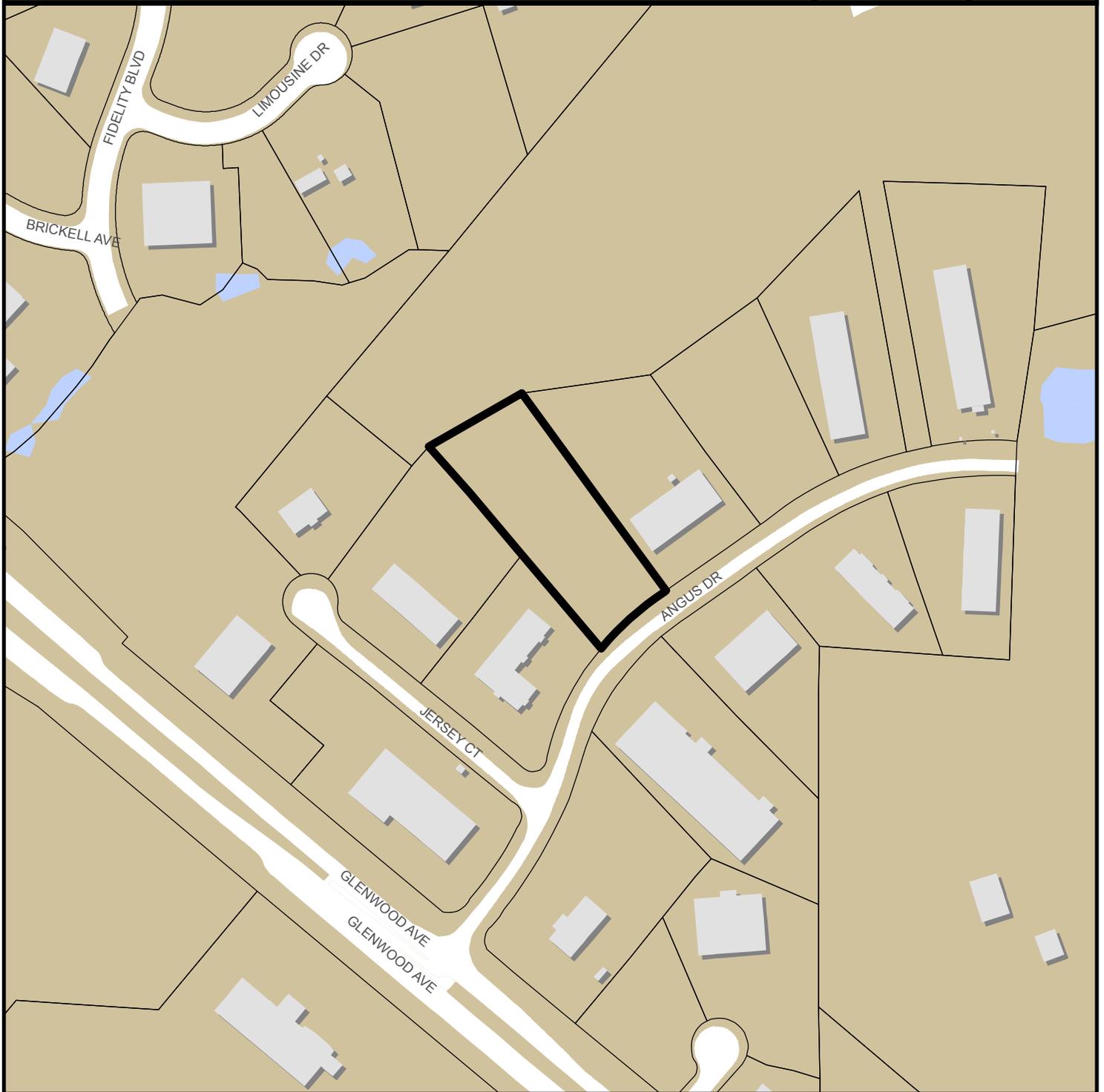


JDS CONSULTING SR-62-2016



0 300 600 Feet

Zoning: **IX-3-PK,AOD**
CAC: **Northwest**
Drainage Basin: **Sycamore**
Acreage: **1.77**
Sq. Ft.: **15203**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **KRM Holdings, LLC**
Phone: **919-201-3048**



Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <i>492111</i> Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name JDS Consulting		
Zoning District IX-3-PK	Overlay District (if applicable)	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Office & Pet Daycare		
Property Address(es) 6312 Angus Drive		Major Street Locator: Glenwood Ave.
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 0778-12-8002	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input checked="" type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: _____		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construction of 2 buildings and associated site work	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/OWNER	Company KRM Holdings, LLC.	Name (s) Eli Smith
	Address P. O. Box 80755, Raleigh, N. C. 27623	
	Phone 919-201-3048	Email ebsmith@jdsdesignonline.com Fax
CONSULTANT (Contact Person for Plans)	Company Blakely Design Group	Name (s) B. Taylor Blakely
	Address 700 Exposition Place, Ste 105, Raleigh, N. C. 27615	
	Phone 919-870-1868	Email taylor@blakelydesign.net Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) IX-3-PK	Proposed building use(s) Office & pet day care
If more than one district, provide the acreage of each: n/a	Existing Building(s) sq. ft. gross 0
Overlay District n/a	Proposed Building(s) sq. ft. gross 15,203 s.f.
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.77 ac.	Total sq. ft. gross (existing & proposed) 15,203 s.f.
Off street parking: Required 38 Provided 46	Proposed height of building(s) 32' & 19'
COA (Certificate of Appropriateness) case # n/a	# of stories 2
BOA (Board of Adjustment) case # A- n/a	Ceiling height of 1 st Floor 10'
CUD (Conditional Use District) case # Z- n/a	

Stormwater Information

Existing Impervious Surface 0 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface 33,759 s.f. acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils n/a Flood Study n/a
	FEEMA Map Panel #

FOR RESIDENTIAL DEVELOPMENTS

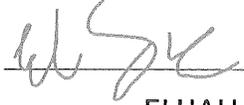
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **B. Taylor Blakely** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  Date **8-1-2016**

Printed Name **ELIJAH B SMITH** *MEMBER/MANAGER of KRM HOLDINGS, LLC.*

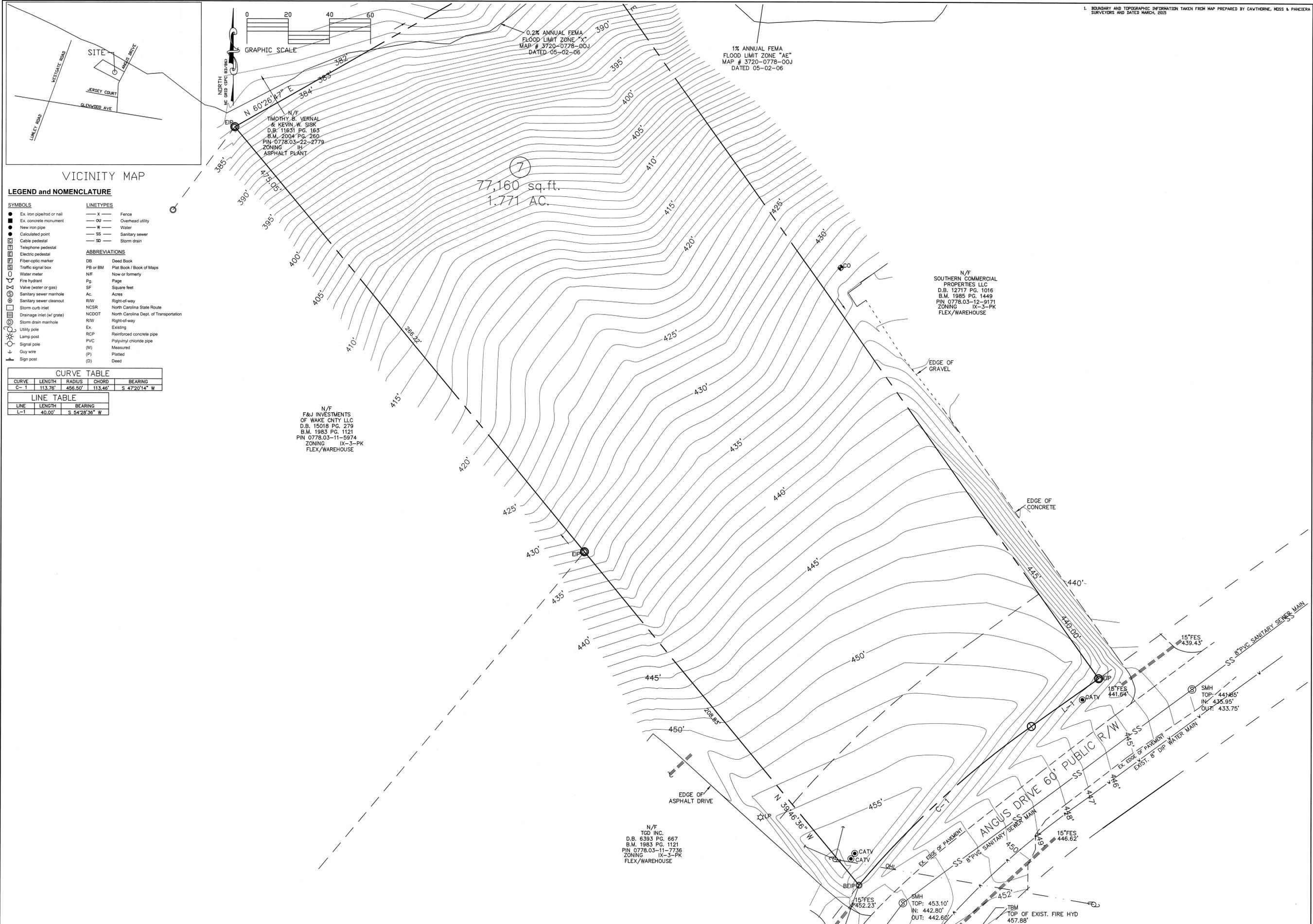
Signed _____ Date _____

Printed Name _____

*1.77 acres Sycamore Damage Northwest CAC
Airport overlay IX-3-PK*

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh <i>\$ 351</i>	<input checked="" type="checkbox"/>				
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>				
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan <i>see Site Plan C.1.0</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP PREPARED BY CAVTHORNE, MOSS & PANCIERA SURVEYORS AND DATED MARCH, 2015



VICINITY MAP

LEGEND and NOMENCLATURE

- | SYMBOLS | | LINETYPES | |
|---------|---------------------------|----------------------|--|
| ● | Ex. iron pipe/rod or nail | --- | Fence |
| ■ | Ex. concrete monument | --- | Overhead utility |
| ● | New iron pipe | --- | Water |
| ● | Calculated point | --- | Sanitary sewer |
| ○ | Cable pedestal | --- | Storm drain |
| ○ | Telephone pedestal | ABBREVIATIONS | |
| ○ | Electric pedestal | DB | Deed Book |
| ○ | Fiber-optic marker | PB or BM | Plat Book / Book of Maps |
| ○ | Traffic signal box | NIF | Now or formerly |
| ○ | Water meter | Pg. | Page |
| ○ | Fire hydrant | SF | Square feet |
| ○ | Valve (water or gas) | Ac. | Acres |
| ○ | Sanitary sewer manhole | RW | Right-of-way |
| ○ | Sanitary sewer cleanout | NCSR | North Carolina State Route |
| ○ | Storm curb inlet | NCDOT | North Carolina Dept. of Transportation |
| ○ | Drainage inlet (w/ grate) | RW | Right-of-way |
| ○ | Storm drain manhole | Ex. | Existing |
| ○ | Utility pole | RCP | Reinforced concrete pipe |
| ○ | Lamp post | PVC | Polyvinyl chloride pipe |
| ○ | Signal pole | (M) | Measured |
| ○ | Guy wire | (P) | Placed |
| ○ | Sign post | (D) | Deed |

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	113.78'	456.50'	113.46'	S 47°20'14" W

LINE TABLE

LINE	LENGTH	BEARING
L-1	40.00'	S 54°28'36" W

N/F
F&J INVESTMENTS
OF WAKE CNTY LLC
D.B. 15018 PG. 279
B.M. 1983 PG. 1121
PIN 0778.03-11-5974
ZONING IX-3-PK
FLEX/WAREHOUSE

N/F
TGD INC.
D.B. 6393 PG. 667
B.M. 1983 PG. 1121
PIN 0778.03-11-7736
ZONING IX-3-PK
FLEX/WAREHOUSE

N/F
SOUTHERN COMMERCIAL
PROPERTIES LLC
D.B. 12717 PG. 1016
B.M. 1985 PG. 1449
PIN 0778.03-12-9171
ZONING IX-3-PK
FLEX/WAREHOUSE

BLAKELY DESIGN GROUP
Site Planning
Landscape Architecture

JDS CONSULTING
6312 ANGUS DRIVE
RALEIGH, N.C.

EXISTING CONDITIONS PLAN

DATE JUNE 2, 16

SCALE 1"=20'

DRAWN BTB

JOB NO.

REVISIONS

SHEET
EX.0

700 Expedition Place, Suite 105, Raleigh, North Carolina 27615
Telephone (919) 870-1888 Fax (919) 870-0752
E-Mail toj@blakelydesign.net



VICINITY MAP

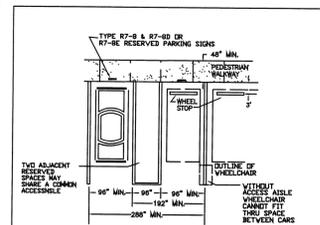
LEGEND and NOMENCLATURE

SYMBOLS		LINE TYPES	
●	Ex. iron pipe/rod or nail	-X-	Fence
■	Ex. concrete monument	-OU-	Overhead utility
○	New iron pipe	-W-	Water
●	Calculated point	-SS-	Sanitary sewer
○	Cable pedestal	-SD-	Storm drain
○	Telephone pedestal	ABBREVIATIONS	
○	Electric pedestal	DB	Deed Book
○	Fiber optic marker	PB or BM	Plat Book / Book of Maps
○	Traffic signal box	NIF	Now or formerly
○	Water meter	Pg.	Page
○	Fire hydrant	SF	Square feet
○	Valve (water or gas)	Ac.	Acre
○	Sanitary sewer manhole	R/W	Right-of-way
○	Sanitary sewer cleanout	NC SR	North Carolina State Route
○	Storm curb inlet	NC DOT	North Carolina Dept. of Transportation
○	Drainage inlet (w/ grate)	R/W	Right-of-way
○	Storm drain manhole	Ex.	Existing
○	Utility pole	RCP	Reinforced concrete pipe
○	Lamp post	PVC	Polyvinyl chloride pipe
○	Signal pole	(M)	Measured
○	Guy wire	(P)	Platted
○	Sign post	(D)	Deed

CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD BEARING
C-1	113.76'	456.50'	S 47°20'14" W

LINE TABLE		
LINE	LENGTH	BEARING
L-1	40.00'	S 54°28'36" W

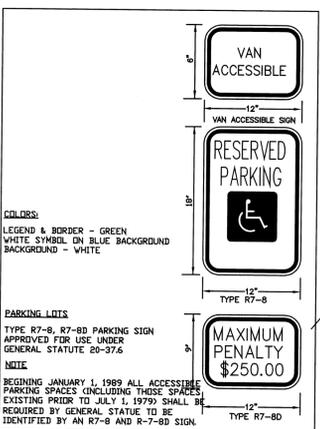
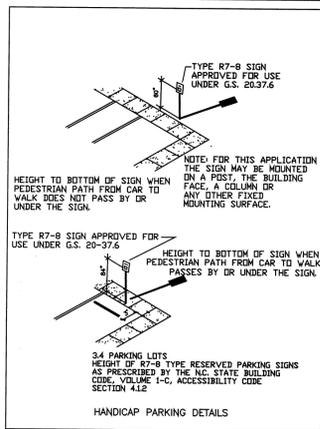
N/F
F&J INVESTMENTS
OF WAKE COUNTY LLC
D.B. 15018 PG. 279
B.M. 1983 PG. 1121
PIN 0778.03-11-5974
ZONING IX-3-PK
FLEX/WAREHOUSE



4% OF THE TOTAL NUMBER OF PARKING SPACES OR A MINIMUM OF ONE SHALL BE RESERVED FOR USE BY DISABLED/HANDICAPPED PERSONS.

PARKING SPACES SHALL BE AT LEAST 96" WIDE WITH A MINIMUM OF 60" WIDE ACCESS AISLE. SPACES SHALL NOT BE MORE THAN 200 FEET FROM AN ACCESSIBLE ENTRANCE & OR CENTRALLY LOCATED WHEN THE PARKING LOT SERVES MORE THAN ONE BUILDING.

ONE IN EVERY EIGHT (1/8) OF ACCESSIBLE PARKING SPACES OR A MINIMUM OF ONE, WHICHEVER IS THE GREATER NUMBER, SHALL BE VAN ACCESSIBLE AND SHALL BE IDENTIFIED WITH THE WORDS "VAN ACCESSIBLE" IN AN ARched GREEN SIGN. VAN ACCESSIBLE PARKING SPACES SHALL BE OPEN TO ALL VEHICLES PROPERLY IDENTIFIED IN COMPLIANCE WITH GENERAL STATUTES 20-37.6



LEGEND & BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

PARKING LOTS
TYPE R7-8, R7-8D PARKING SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6

NOTE
BEGINNING JANUARY 1, 1989 ALL ACCESSIBLE PARKING SPACES (INCLUDING THOSE SPACES EXISTING PRIOR TO JULY 1, 1979) SHALL BE IDENTIFIED BY AN R7-8 AND R7-8D SIGN.

77,160 sq.ft.
1.771 AC.

SITE DATA		
TOTAL LOT SIZE	77,160 S.F.	1.77 ACRES
ZONE	IX-3-PK	VACANT
EXISTING USE	OFFICE & PET GROOMING	15,203 S.F.
PROPOSED BUILDING SIZE	2 BUILDINGS	2 STORY
PROPOSED BUILDING HEIGHT	38 SPACES	46 SPACES
PARKING REQUIRED (1/400 S.F. OFFICE & PERSONAL SERVICE)	19,026 S.F.	0.775 AC.
PARKING PROPOSED (INCL. 3 HC.)	68,414 S.F.	1.57 AC.
VEHICULAR USE AREA	0778-12-8002	
IMPERVIOUS AREA		
DENUDED AREA		
WAKE COUNTY P.I.N.		
OWNER	KRM HOLDINGS, LLC.	
	P.O. BOX 80755	
	RALEIGH, N. C. 27623	
	(919) 201-3048	

- NOTES
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP PREPARED BY CANTORNE, HESS & PANCIERA SURVEYORS AND DATED MARCH, 2015
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
 - CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
 - ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE CITY OF RALEIGH ZONING AND SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR ADJUSTMENT.
 - LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
 - CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
 - CONTRACTOR SHALL PAINT SYMBOLS, INSTALL SIGNS AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES AS NOTED ON PLAN.
 - CONTRACTOR SHALL DELINEATE PARKING SPACE LINES, HANDICAP SYMBOLS, DIRECTIONAL ARROWS, LANE MARKINGS, STOP MESSAGES, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
 - CALL NORTH CAROLINA ONE CALL CENTER @ 1-800-638-4949 BEFORE DIGGING.
 - DENUDED AREA IS 157 ACRES.
 - TRASH PICK UP WILL BE BY PRIVATE COMPANY, NOT CITY OF RALEIGH.
 - SITE MUST BE STABILIZED AND SEEDING PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

PRELIMINARY NOT FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL NCDOT AND CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

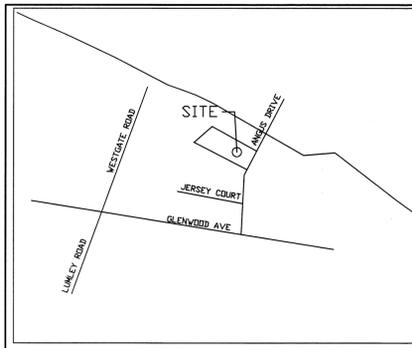
BLAKELY DESIGN GROUP
Landscape Architecture Site Planning

JDS CONSULTING
6312 ANGUS DRIVE RALEIGH, N.C.

SITE PLAN

DATE: JUNE 2, 16
SCALE: 1"=20'
DRAWN: BTB
JOB NO.:
REVISIONS:
SHEET: C1.0

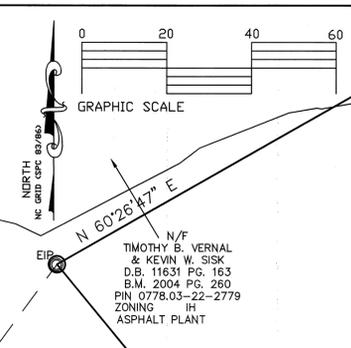
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VICINITY MAP

LEGEND and NOMENCLATURE

SYMBOLS	LINETYPES
● Ex. iron pipe/rod or nail	— x — Fence
■ Ex. concrete monument	— OU — Overhead utility
— New iron pipe	— W — Water
● Calculated point	— SS — Sanitary sewer
— Cable pedestal	— SD — Storm drain
— Telephone pedestal	
— Electric pedestal	
— Fiber-optic marker	
— Traffic signal box	
— Water meter	
— Fire hydrant	
— Valve (water or gas)	
— Sanitary sewer manhole	
— Sanitary sewer cleanout	
— Storm curb inlet	
— Drainage inlet (w/ grate)	
— Storm drain manhole	
— Utility pole	
— Lamp post	
— Signal pole	
— Guy wire	
— Sign post	



GRAPHIC SCALE

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
RB	BETULA NIGRA	RIVER BIRCH	2" CAL	2	8' MIN. HT. B. & B.
CE	ULMUS PARVIFOLIA	CHINESE BIRCH	2" CAL.	8	8' MIN. HT. B. & B.
LOR	LOROPETALUM CHINENSIS "RUBY"	CHINESE FRINGE FLOWER	18" HT.	21	18" MIN. HT. 3 GAL. CONT.
NPH	ILEX CORNUTA "NEEDLEPOINT"	NEEDLEPOINT CHINESE HOLLY	18" HT	21	18" MIN. HT. 3 GAL. CONT.

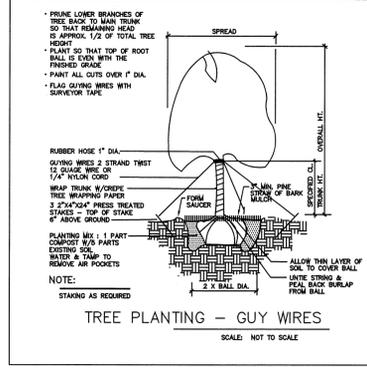
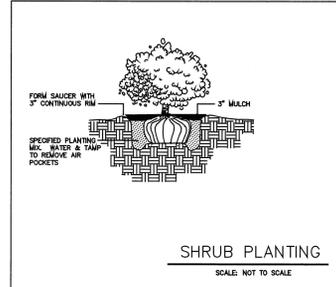
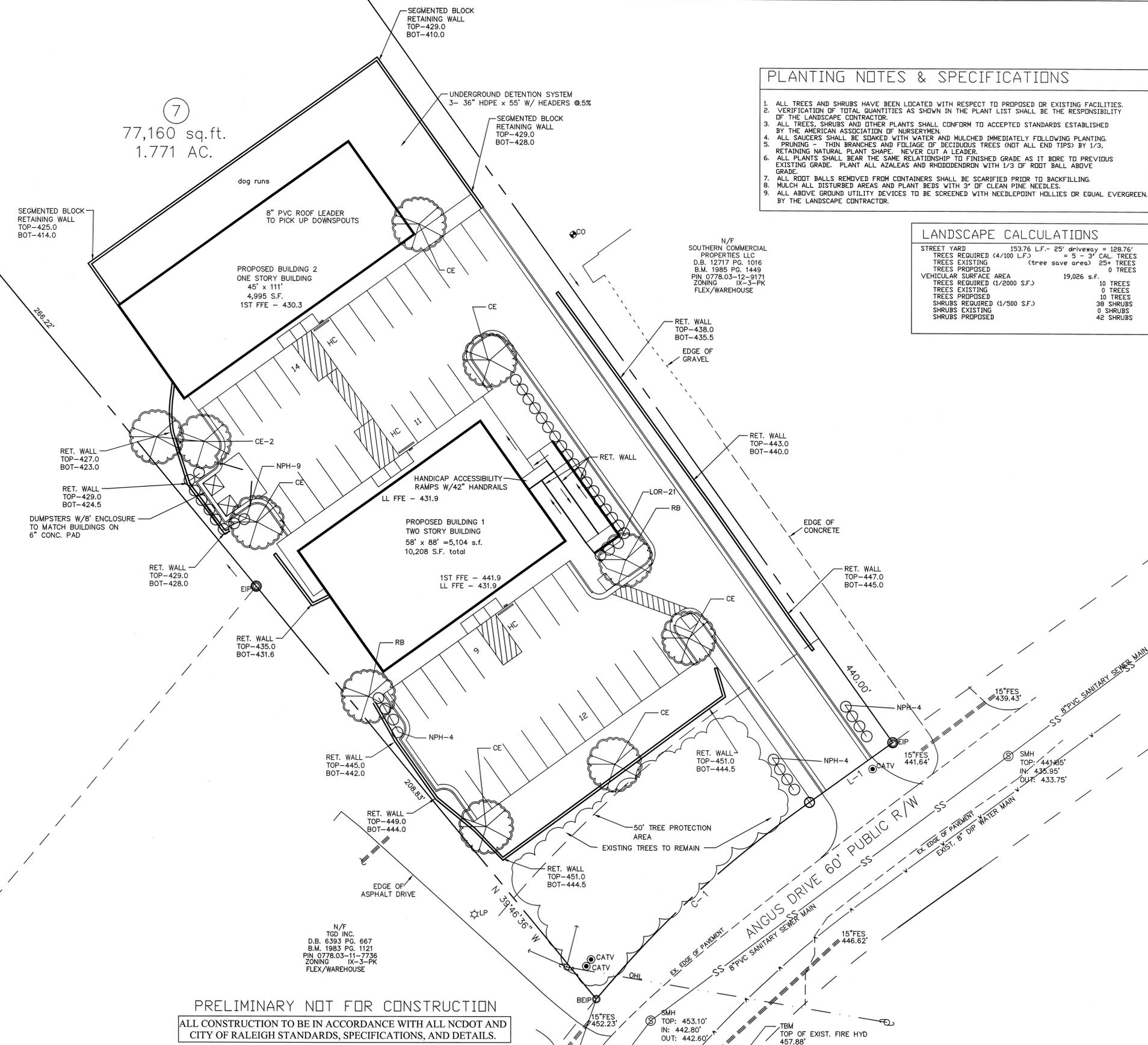
PLANTING NOTES & SPECIFICATIONS

- ALL TREES AND SHRUBS HAVE BEEN LOCATED WITH RESPECT TO PROPOSED OR EXISTING FACILITIES.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL TREES, SHRUBS AND OTHER PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL SAUCERS SHALL BE SDAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- PRUNING - THIN BRANCHES AND FOLIAGE OF DECIDUOUS TREES (AND ALL END TOPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. NEVER CUT A LEADER.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE. PLANT ALL AZALEAS AND RHODODENDRON WITH 1/3 OF ROOT BALL ABOVE GRADE.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- MULCH ALL DISTURBED AREAS AND PLANT BEDS WITH 3" OF CLEAN PINE NEEDLES.
- ALL ABOVE GROUND UTILITY DEVICES TO BE SCREENED WITH NEEDLEPOINT HOLLIES OR EQUAL EVERGREEN BY THE LANDSCAPE CONTRACTOR.

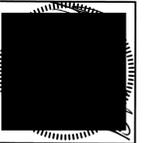
LANDSCAPE CALCULATIONS

STREET YARD	153.76 L.F. - 25' driveway = 128.76'
TREES REQUIRED (4/100 L.F.)	= 5 - 3" CAL. TREES
TREES EXISTING	(tree save area) 25+ TREES
TREES PROPOSED	0 TREES
VEHICULAR SURFACE AREA	19,026 s.f.
TREES REQUIRED (1/2000 S.F.)	10 TREES
TREES EXISTING	0 TREES
TREES PROPOSED	10 TREES
SHRUBS REQUIRED (1/500 S.F.)	38 SHRUBS
SHRUBS EXISTING	0 SHRUBS
SHRUBS PROPOSED	42 SHRUBS

77,160 sq.ft.
1.771 AC.



PRELIMINARY NOT FOR CONSTRUCTION
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BLAKELY DESIGN GROUP
Landscape Architecture Site Planning
700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
Telephone (919) 870-1866 Fax (919) 870-0752
E-Mail Taylor@blakelydesign.net

LANDSCAPE PLAN
JDS CONSULTING
6312 ANGUS DRIVE RALEIGH, N.C.

DATE JUNE 2, 16
SCALE 1"=20'
DRAWN BTB
JOB NO.
REVISIONS
SHEET C3.0