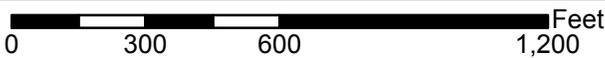
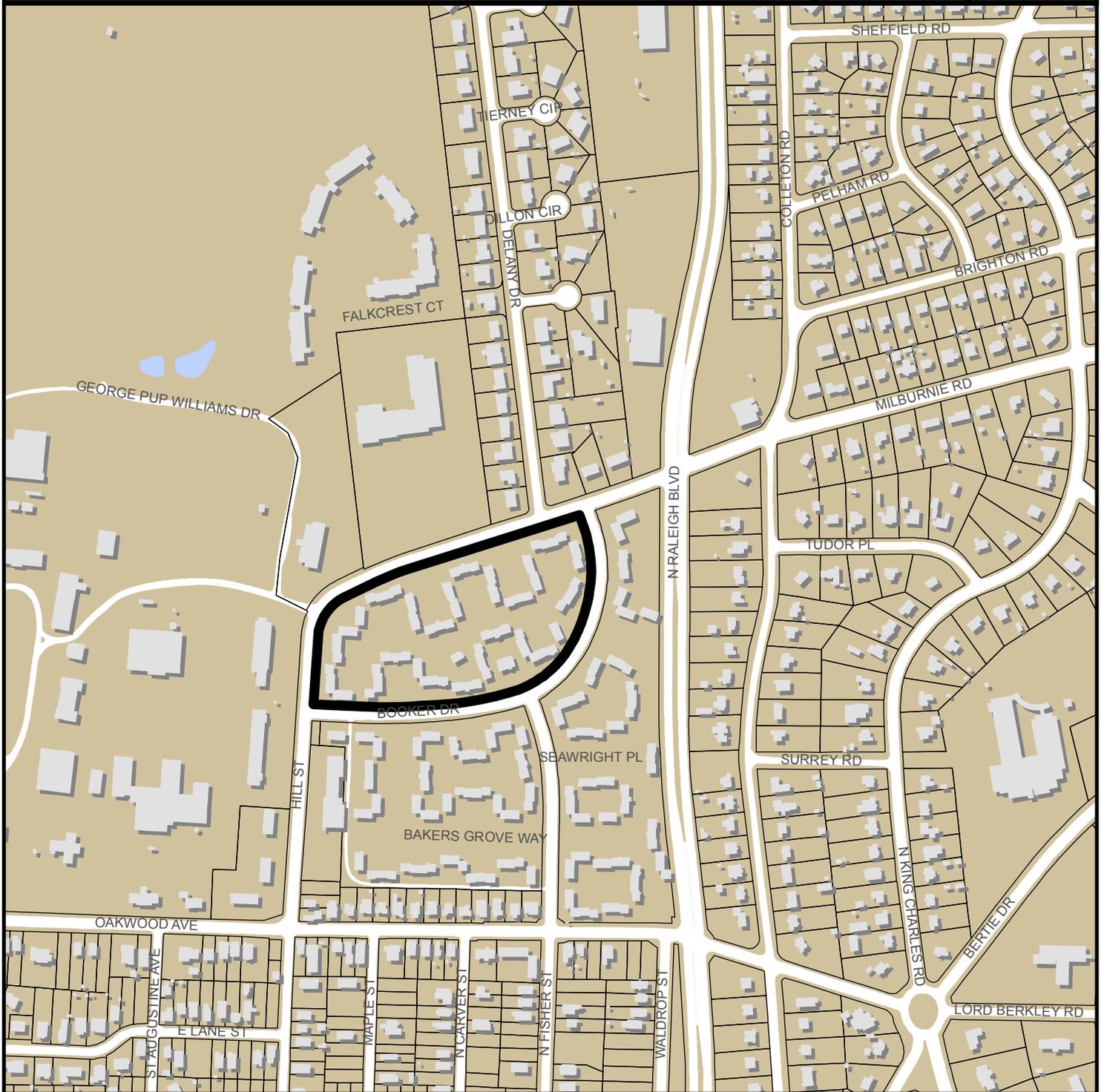


WASHINGTON TERRACE CHILD CARE CENTER SR-76-2016



Zoning: **RX-3**

CAC: **North Central**

Drainage Basin: **Crabtree Creek**

Acreage: **6.14**

Sq. Ft.: **5,910**

Planner: **Justin Rametta**

Phone: **(919) 996-2665**

Applicant: **DHIC**

Phone: **(919) 832-4345**



Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 488641 Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name Washington Terrace Child Care Center		
Zoning District RX-3	Overlay District (if applicable) N/A	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Day Care		
Property Address(es) 2001 Booker Drive		Major Street Locator: Milburnie Road
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1714-31-9454 (partial)	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: if other, please describe: <u>Day Care</u>		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Development of day care within Washington Terrace.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/OWNER	Company DHIC, INC. Name (s) Jamie Ramsey Address 113 S. Wilmington St., Raleigh, NC 27601 Phone 919-832-4345 Email jamie@dhic.org Fax	
CONSULTANT (Contact Person for Plans)	Company JDavis Architects Name (s) Ken Thompson Address 510 S. Wilmington St., Raleigh, NC 27601 Phone 919-835-1500 Email kent@jdavisarchitects.com Fax 919-835-1510	

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) RX-3	Proposed building use(s) Day Care
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross 0
Overlay District N/A	Proposed Building(s) sq. ft. gross +/- 5,910 SF
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.68 AC	Total sq. ft. gross (existing & proposed) +/- 5,910 SF
Off street parking: Required 10 Provided 23	Proposed height of building(s) +/- 35'
COA (Certificate of Appropriateness) case # N/A	# of stories ONE (1) STROY
BOA (Board of Adjustment) case # A- N/A	Ceiling height of 1 st Floor +/- 12'-0"
CUD (Conditional Use District) case # Z- N/A	

Stormwater Information

Existing Impervious Surface 0/0 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.51/22,235 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No FEMA Map Panel # _____ Flood Study <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Ken Thompson, JDavis Architects** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Natalie Britt* Date *9/21/16*

Printed Name *Natalie Britt, Vice President*

Signed _____ Date _____

Printed Name _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input type="checkbox"/>		✓		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

6.01 Acres, North Central CAC, R43 zoning overlay
 S-18-16 Washington Terrace STD
 SR-37-16 - to the Villages @ Washington Terrace
 Drainage - Bridges Branch / Crabtree

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C000 FOR PROJECT AND SITE RELATED NOTES.

4909 Lees Road
Raleigh, NC 27606
919.438.3694 (O)
Firm License C-8898

grounded
ENGINEERING

THE VILLAGE AT WASHINGTON TERRACE

PRELIMINARY SITE PLAN

PRELIMINARY EXISTING CONDITIONS PLAN

ISSUE DATE	SUBMITTAL DESCRIPTION
05.27.2016	0 - INITIAL SUBMITTAL TO CITY OF RALEIGH
07.13.2016	1 - REV PER CITY OF RALEIGH 1ST REVIEW

PROJECT #
15004-1

SHEET #
C-100



LEGEND

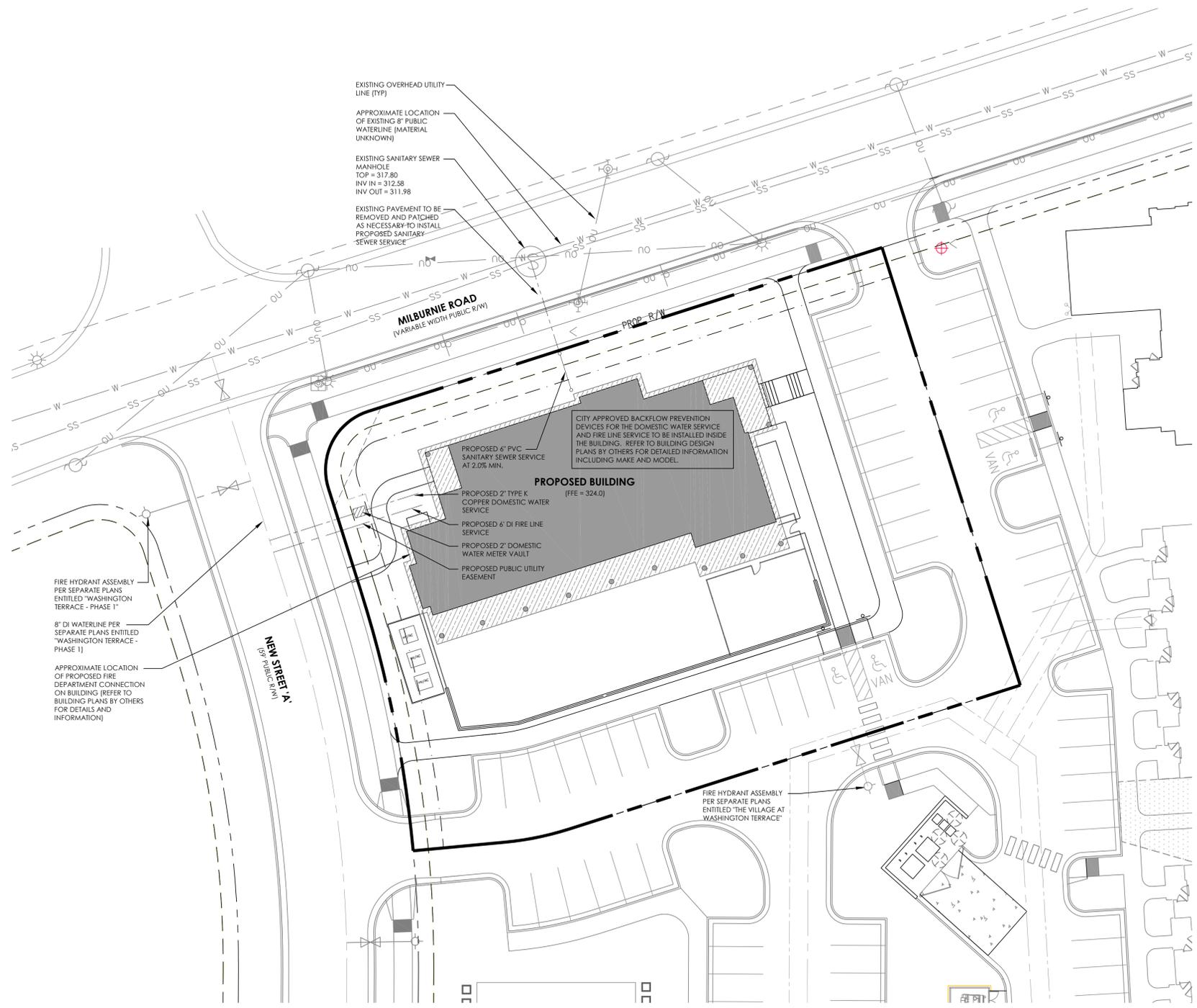
--- XXX ---	EXISTING CONTOUR (MAJOR)
- - - - - XXX - - - - -	EXISTING CONTOUR (MINOR)
- - - - -	EXISTING STORM DRAINAGE
—	PROPOSED CONTOUR (MAJOR)
- - - - -	PROPOSED CONTOUR (MINOR)
—	PROPOSED STORM DRAINAGE
■	PROPOSED STANDARD CATCH BASIN



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ENGINEERING



FIRE HYDRANT ASSEMBLY PER SEPARATE PLANS ENTITLED "WASHINGTON TERRACE - PHASE 1"

8" DI WATERLINE PER SEPARATE PLANS ENTITLED "WASHINGTON TERRACE - PHASE 1"

APPROXIMATE LOCATION OF PROPOSED FIRE DEPARTMENT CONNECTION ON BUILDING (REFER TO BUILDING PLANS BY OTHERS FOR DETAILS AND INFORMATION)

NEW STREET 'A'
(BY PROVISION)

EXISTING OVERHEAD UTILITY LINE (OUL)

APPROXIMATE LOCATION OF EXISTING 8" PUBLIC WATERLINE (MATERIAL UNKNOWN)

EXISTING SANITARY SEWER MANHOLE
TOP = 317.80
INV IN = 312.58
INV OUT = 311.98

EXISTING PAVEMENT TO BE REMOVED AND PATCHED AS NECESSARY TO INSTALL PROPOSED SANITARY SEWER SERVICE

CITY APPROVED BACKFLOW PREVENTION DEVICES FOR THE DOMESTIC WATER SERVICE AND FIRE LINE SERVICE TO BE INSTALLED INSIDE THE BUILDING. REFER TO BUILDING DESIGN PLANS BY OTHERS FOR DETAILED INFORMATION INCLUDING MAKE AND MODEL.

LEGEND

— W —	EXISTING WATERLINE
— SS —	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
— G —	EXISTING GAS LINE/SERVICE
— FO —	EXISTING FIBER OPTIC LINE
---	EXISTING UNDERGROUND ELECTRICAL LINE/SERVICE
— OU —	EXISTING OVERHEAD UTILITY LINE
---	EXISTING CONTOUR LINE (MAJOR)
---	EXISTING CONTOUR LINE (MINOR)
— X —	EXISTING FENCE
⊙ S	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙ WV	EXISTING WATERLINE VALVE
⊙ WM	EXISTING WATER METER
⊙ GV	EXISTING GAS VALVE
⊙ PP	EXISTING UTILITY POLE
⊙ LP	EXISTING LIGHT POLE
⊙ GW	EXISTING GUY WIRE
⊙ S	EXISTING SIGN
○	EXISTING PROPERTY CORNER
---	PROPOSED WATERLINE
---	PROPOSED SANITARY SEWER LINE
⊙	PROPOSED WATERLINE VALVE
⊙	PROPOSED FIRE HYDRANT
⊙	PROPOSED SANITARY SEWER MANHOLE



CHILD CARE CENTER AT WASHINGTON TERRACE

RALEIGH, NORTH CAROLINA 27601

PRELIM. UTILITY PLAN

SUBMITTAL DESCRIPTION	0 - INITIAL SUBMITTAL TO CITY OF RALEIGH
ISSUE DATE	09.22.2016
PROJECT #	15004-2
SHEET #	C-600

