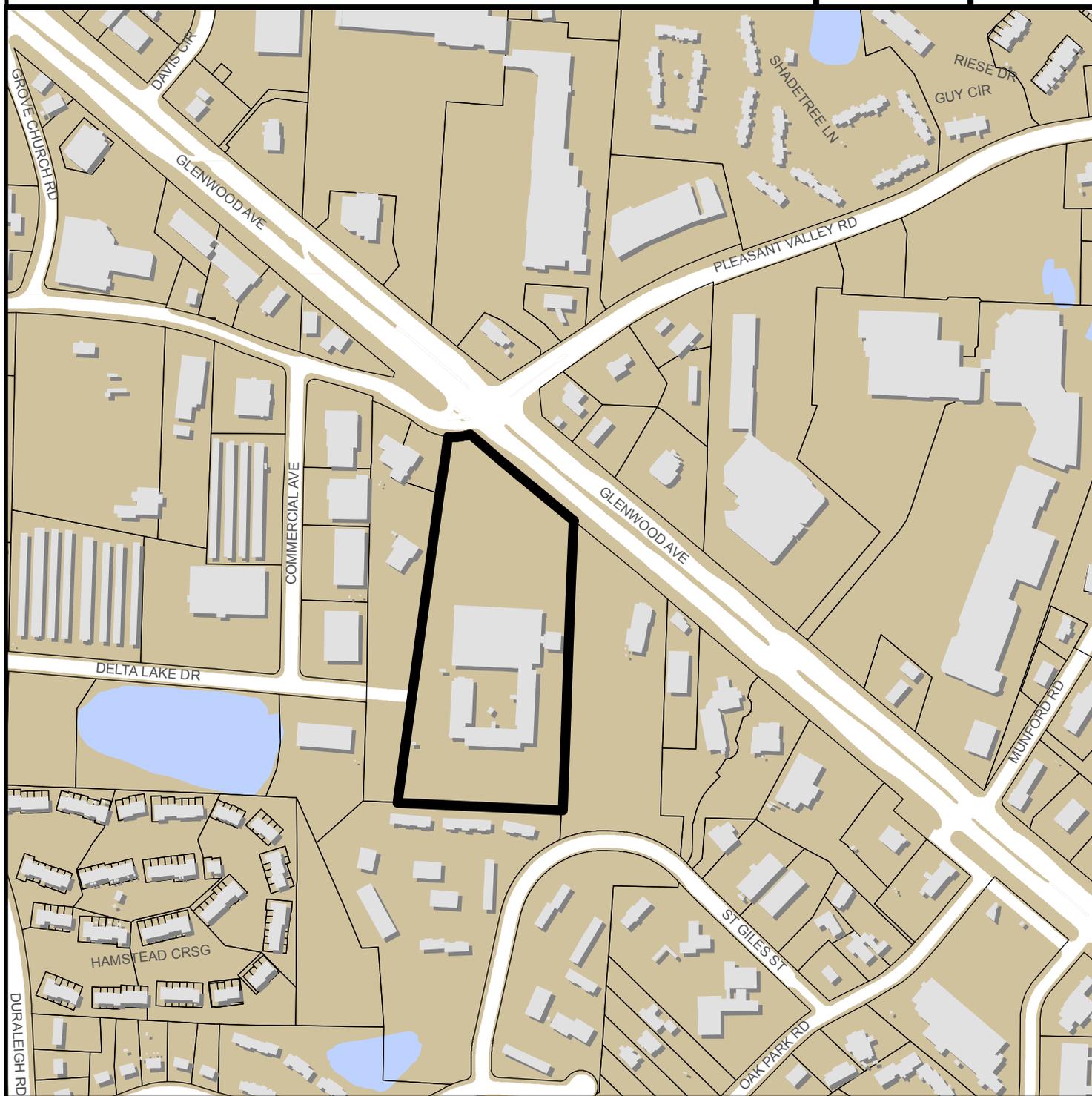


PROVIDENCE BAPTIST CHURCH WORSHIP RENOVATION SR-77-2016



0 300 600 1,200 Feet

Zoning: **CX-7 PL**
CAC: **Northwest**
Drainage Basin: **Crabtree Basin**
Acreage: **10.6**
Sq. Ft.: **23,118**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Providence Baptist Church**
Phone: **(919) 326-3000**



SR-77-16

Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | eFax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

SR-77-16

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 489041 Assigned Project Coordinator Walters Assigned Team Leader
<i>Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #</i>		
GENERAL INFORMATION		
Development Name Providence Baptist Church Worship Renovation		
Zoning District CX-7-PL	Overlay District (if applicable)	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Worship		
Property Address(es) 6339 Glenwood Ave. Raleigh NC. 27612		Major Street Locator: Glenwood Avenue
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 0786-67-9150	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: if other, please describe: _____		
<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input checked="" type="checkbox"/> Religious Institutions		
<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo		
<input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail		
<input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. The worship area plans to be expanded. The existing seat count is 900 and the proposed seating capacity 1,300. The existing required parking is 225 stalls, the proposed required parking is 325 stalls. The site has 657 existing stalls and the proposed site will have 606 stalls.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/OWNER	Company Providence Baptist Church of Raleigh, Inc.	Name (s) Executive Pastor, John Erwin
	Address 6339 Glenwood Avenue, Raleigh, NC. 27612	
	Phone 919-326-3000	Email john@pray.org
CONSULTANT (Contact Person for Plans)	Company Alpha and Omega Group	Name (s) Glenn Zeblo
	Address 4601 Lake Boone Trail, Suite 3c, Raleigh NC. 27607	
	Phone 919-981-0310x204	Email tgzeblo@aogroup.com

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-7-PL	Proposed building use(s) Worship
If more than one district, provide the acreage of each: 10.6	Existing Building(s) sq. ft. gross 191,129
Overlay District	Proposed Building(s) sq. ft. gross 23,118
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 214,247
Off street parking: Required 410 Provided 606	Proposed height of building(s) 40'
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 28'
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 8.061/351,143 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 8.056 350,917 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Alpha and Omega Group, Glenn Zeblo to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

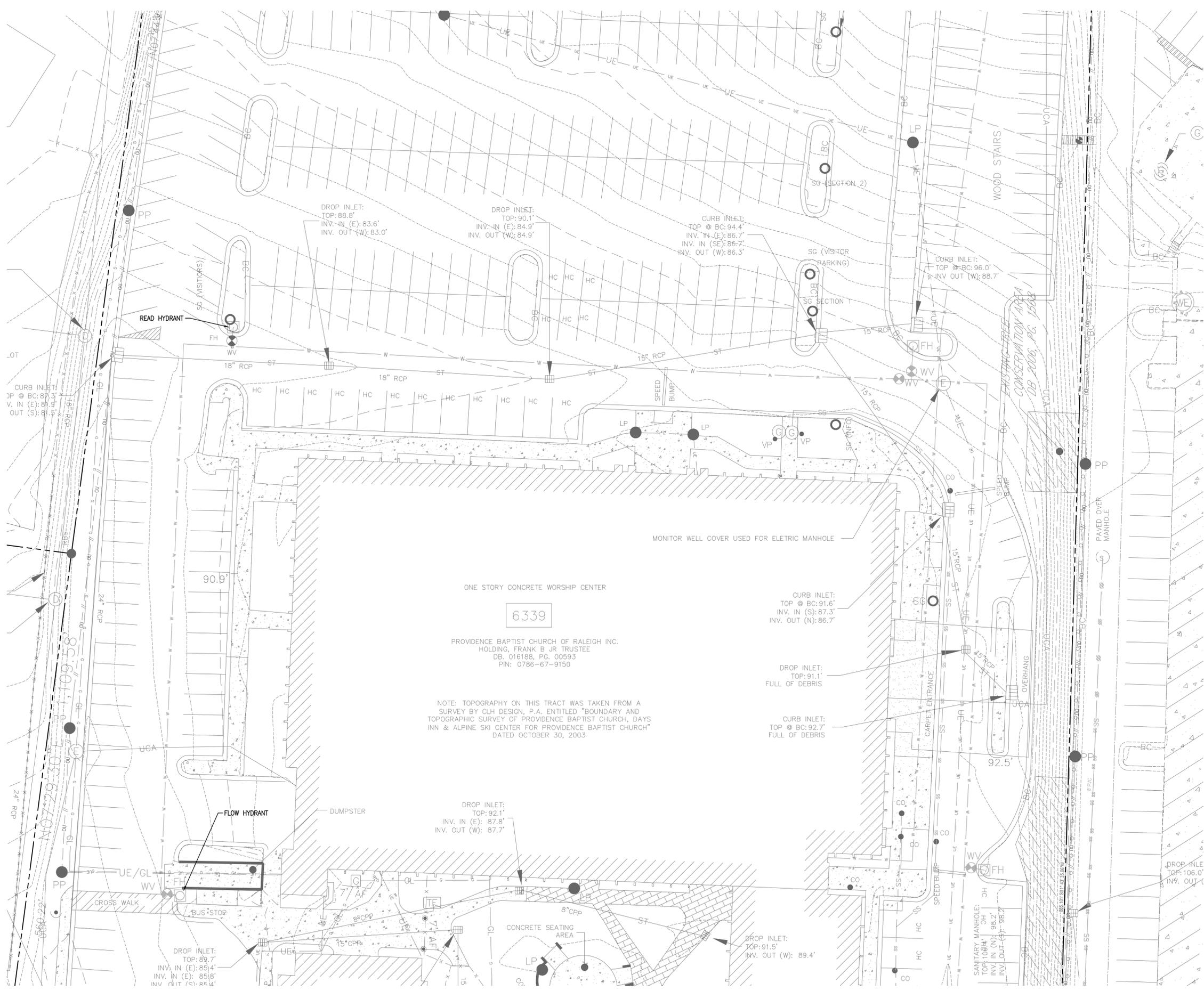
Signed  Date 9/22/16

Printed Name John Erwin

Signed _____ Date _____

Printed Name _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>		✓		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	



- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARD DETAILS AND SPECIFICATIONS.
 2. THE SILT FENCING AND STRAW WATTLE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY.
 3. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN ADVANCE OF CONSTRUCTION AND MAKE ANY OBSERVATIONS THAT AFFECT CONSTRUCTION KNOWN TO THE ENGINEER.
 4. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
 5. ALL EXCAVATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH OSHA GUIDELINES (29CFR 1926, SUBPART P, EXCAVATIONS) AND OTHER LOCAL JURISDICTIONAL CODES.
 6. ALL CONTRACTORS SHALL KEEP ALL STREETS CLEAN OF MUD, AND OTHER DEBRIS AT ALL TIMES.
 7. CONTRACTOR SHALL CONTACT NC ONE CALL BEFORE ANY DIGGING OCCURS AT 1-800-632-4949.
 8. FIRE FLOW TEST INFORMATION FOR FLOW AND TEST HYDRANT FOUND ON SHEET C6.0.

LEGEND

---	PROPERTY LINE
---	EXISTING FEATURE
---	EX. MINOR CONTOUR
---	EX. MAJOR CONTOUR
EX	EXISTING
BC	BACK OF CURB
FH	FIRE HYDRANT
LP	LIGHT POLE
G	GAS
HC	HANDICAP PARKING STALL
ST	STORM DRAIN
UE	UNDERGROUND ELECTRIC
W	WATER
PP	POWER POLE
WV	WATER VALVE
CO	CLEAN OUT

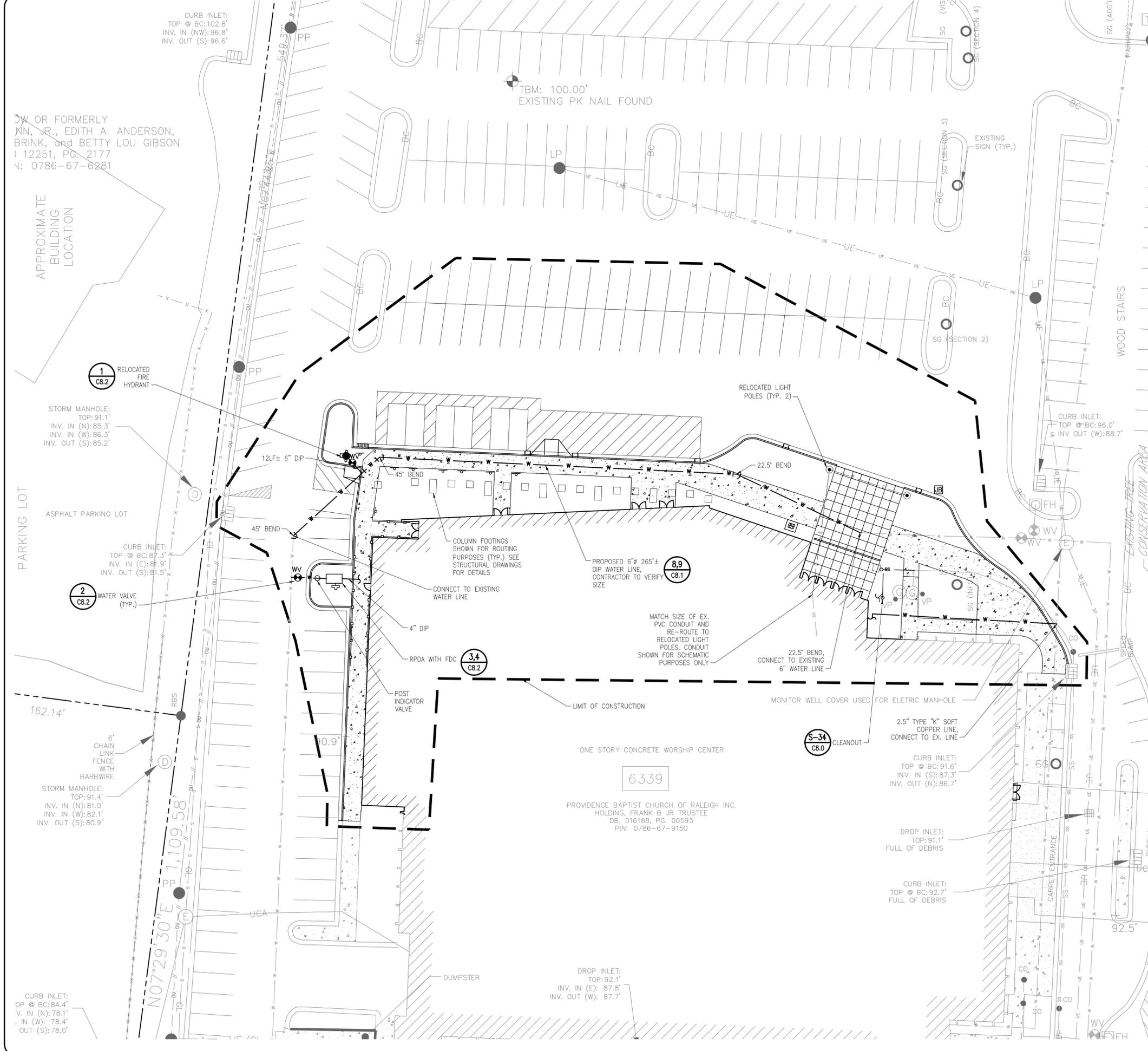


Revisions No.	Description	Date

Project No.: **2016.037**
 Issued For: **REVIEW**
 Issued Date: **09/15/2016**

Drawn By: **MTT**
 Checked By: **TGZ**

Sheet No.: **C1.0**



OR FORMERLY
 KN, JR., EDITH A. ANDERSON,
 BRINK, and BETTY LOU GIBSON
 12251, PG. 2177
 V: 0786-67-6281

CURB INLET:
 TOP @ BC: 102.8'
 INV. IN (NW): 96.8'
 INV. OUT (S): 96.6'

TBM: 100.00'
 EXISTING PK NAIL FOUND

1
 C8.2
 RELOCATED FIRE
 HYDRANT

STORM MANHOLE:
 TOP: 91.1'
 INV. IN (N): 85.3'
 INV. IN (W): 86.3'
 INV. OUT (S): 85.2'

2
 C8.2
 WATER VALVE
 (TYP.)

CURB INLET:
 TOP @ BC: 87.3'
 INV. IN (E): 81.9'
 INV. OUT (S): 81.5'

6"
 CHAIN
 LINK
 FENCE
 WITH
 BARB WIRE

STORM MANHOLE:
 TOP: 91.4'
 INV. IN (N): 81.0'
 INV. IN (W): 82.1'
 INV. OUT (S): 80.9'

CURB INLET:
 OP @ BC: 84.4'
 V. IN (N): 78.1'
 V. IN (W): 78.4'
 OUT (S): 78.0'

Private
Water Distribution / Extension System

The City of Raleigh consents to the connection to its public water system and extension of the private water distribution system as shown on this plan. The materials and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # _____
 Authorization to Construct _____
 Date _____

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water and sewer, as approved in these plans, is responsible for **contacting** the **Central Engineering Department** at **831-6810**, and the **Public Utilities Department** at **890-3400** at least **twenty-four hours (24 hrs)** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug, have Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

FIRE PROTECTION NOTES

ACCORDING TO 2012 INTERNATIONAL FIRE CODE

CONSTRUCTION TYPE: 1-B
 FIRE-FLOW CALCULATION AREA: 23,118 SF
 REQUIRE FIRE-FLOW: 1,750 GPM

FLOW AND READ HYDRANT LOCATIONS FOUND ON SHEET C1.0.

READ HYDRANT: STATIC PRESSURE: 82 PSI
 RESIDUAL PRESSURE: 58 PSI

FLOW HYDRANT: 1068 GPM

PROPOSED HYDRANT: 1768 GPM @ 20 PSI

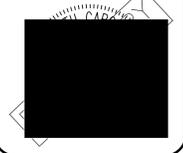
SEE FIRE PROTECTION PLAN FOR SPRINKLER SYSTEM.

GENERAL NOTES

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6. ALL CONTRACTORS SHALL KEEP ALL STREETS CLEAN OF MUD, AND OTHER DEBRIS AT ALL TIMES.
7. CONTRACTOR SHALL CONTACT NC ONE CALL BEFORE ANY DIGGING OCCURS AT 1-800-632-4949.

LEGEND

- PROPERTY LINE
- EXISTING FEATURE
- PROPOSED FEATURE
- ss --- ss --- PROPOSED SANITARY SEWER
- W --- W --- LIMITS OF CONSTRUCTION
- E --- E --- WATER LINE
- --- --- PROPOSED ELECTRICAL PVC CONDUIT
- UE --- UE --- EXISTING ELECTRICAL CONDUIT



Project Title:
**WORSHIP CENTER EXPANSION
 PROVIDENCE BAPTIST CHURCH
 6339 GLENWOOD AVENUE,
 RALEIGH, NORTH CAROLINA 27612**

Sheet Title:
UTILITY PLAN

Revisions:	Date
No. Description	

Project No.:
2016.037
 Issued For:
REVIEW
 Issued Date:
09/15/2016

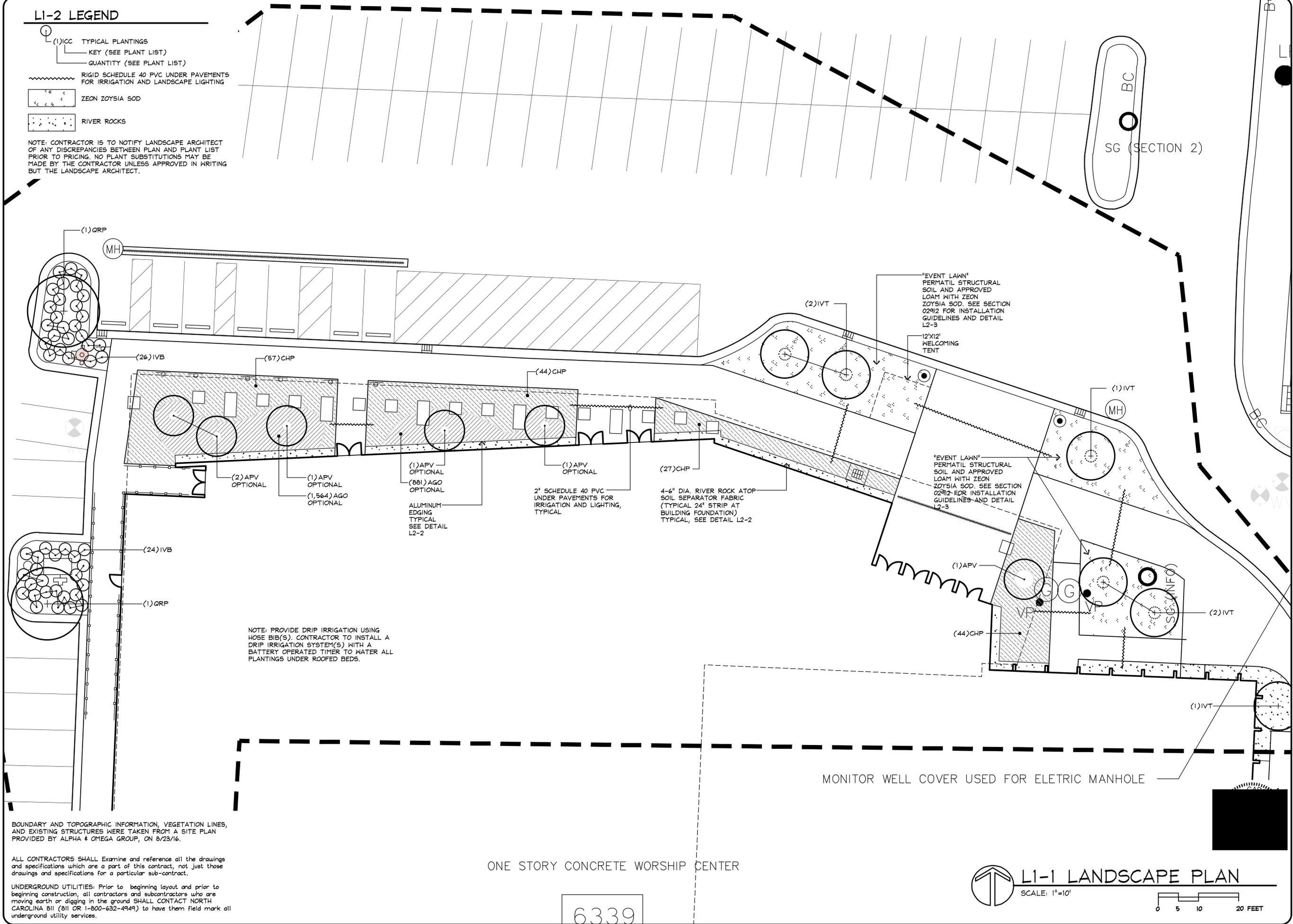
Drawn By: **MTT**
 Checked By: **TGZ**

Sheet No.:
C6.0

LI-2 LEGEND

- (1)JCC TYPICAL PLANTINGS KEY (SEE PLANT LIST)
QUANTITY (SEE PLANT LIST)
- ~~~~~ RIGID SCHEDULE 40 PVC UNDER PAVEMENTS FOR IRRIGATION AND LANDSCAPE LIGHTING
- ZEON ZOYSIA SOD
- RIVER ROCKS

NOTE: CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND PLANT LIST PRIOR TO PRICING. NO PLANT SUBSTITUTIONS MAY BE MADE BY THE CONTRACTOR UNLESS APPROVED IN WRITING BUT THE LANDSCAPE ARCHITECT.



NOTE: PROVIDE DRIP IRRIGATION USING HOSE BIB(S). CONTRACTOR TO INSTALL A DRIP IRRIGATION SYSTEM(S) WITH A BATTERY OPERATED TIMER TO WATER ALL PLANTINGS UNDER ROOFED BEDS.

BOUNDARY AND TOPOGRAPHIC INFORMATION, VEGETATION LINES, AND EXISTING STRUCTURES WERE TAKEN FROM A SITE PLAN PROVIDED BY ALPHA & OMEGA GROUP, ON 8/23/16.

ALL CONTRACTORS SHALL EXAMINE AND REFERENCE ALL THE DRAWINGS AND SPECIFICATIONS WHICH ARE A PART OF THIS CONTRACT, NOT JUST THOSE DRAWINGS AND SPECIFICATIONS FOR A PARTICULAR SUB-CONTRACT.

UNDERGROUND UTILITIES: Prior to beginning layout and prior to beginning construction, all contractors and subcontractors who are moving earth or digging in the ground SHALL CONTACT NORTH CAROLINA 811 (811 OR 1-800-632-4949) to have them field mark all underground utility services.

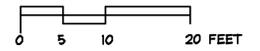
ONE STORY CONCRETE WORSHIP CENTER

6339



LI-1 LANDSCAPE PLAN

SCALE: 1"=10'



SEARS DESIGN GROUP
625 West Jones Street Raleigh, North Carolina 27603 (919) 832-7000 Fax (919) 832-8140 email: searsdesign@searsdesigngroup.com

Project Title:
**WORSHIP CENTER EXPANSION
PROVIDENCE BAPTIST CHURCH
6339 GLENWOOD AVENUE,
RALEIGH, NORTH CAROLINA 27612**

Sheet Title:
LANDSCAPE PLAN

Revisions:	No.	Description	Date

Project No.: **2016.037**
Issued For: **REVIEW**
Issued Date: **9/8/2016**

Drawn By: **CGW**
Checked By: **RLP**
Sheet No.: **L1**